

**PB# 86-82**

**Benedict Pond Estates**

**65-1-58.2**

Approved

5/10/89

PB # 86-82

Benedict  
Pond Estates

\*See additional  
maps\*

5/70/87  
Benedict Pond Estates 86-82  
Subdivision (14 lots)

783-9407

ISES  
AGERS

BOX 673D  
ORK 10950



782-5535  
Michael Petrone

TOWN OF NEW WINDSOR		General Receipt		10560
555 Union Avenue New Windsor, N. Y. 12550		May 10, 19 89		
Received of Vite, Inc. (Benedict Pond)		\$ 1,114.00		
One Thousand One Hundred Fourteen and <sup>00</sup> / <sub>100</sub>		DOLLARS		
For Engineer Fees - \$599.00 Planning Board Fees \$515.00				
DISTRIBUTION				
FUND	CODE	AMOUNT		
CK #174		1,114.00		
By Pauline S. Townsend			Title	
Town Clerk				

Williamson Law Book Co., Rochester, N. Y. 14609

Planning Board  
Town Hall  
555 Union Ave.  
New Windsor, N.Y. 12550

NO. 86-82  
5/10 19 89

RECEIVED FROM Michael Petrone - Vite, Inc.  
Three Thousand Two Hundred Fifty <sup>00</sup>/<sub>100</sub> DOLLARS  
(Bank Lands for Benedict Pond Subdivision) <sup>check</sup> #173

Account Total \$  
Amount Paid \$ 3,250.00  
Balance Due \$

Myra Mason  
Secretary for New Windsor  
Planning Board

"THE EFFICIENCY LINE" AN AMPAD PRODUCT

Planning Board  
Town Hall  
555 Union Ave.  
New Windsor, N.Y. 12550

NO. 86-82  
5/10 19 89

RECEIVED FROM Mires, Johnson, & Bennett  
Three Thousand Six Hundred Eighty <sup>00</sup>/<sub>100</sub> DOLLARS  
(Public Improvement Inspector Fee for Benedict Pond Sub.)  
CK # 4786

Account Total \$  
Amount Paid \$ 3,680.00  
Balance Due \$

Myra Mason  
Secretary for New Windsor  
Planning Board

"THE EFFICIENCY LINE" AN AMPAD PRODUCT

General Receipt

For Engineer Vito - 541.00 Planning Board fees - 313.00

FUND	CODE	AMOUNT
<u>OK #174</u>		<u>1,114.00</u>

By Pauline J. Townsend  
Town Clerk  
 Title

Williamson Law Book Co., Rochester, N. Y. 14609

**Planning Board**  
**Town Hall**  
 555 Union Ave.  
 New Windsor, N.Y. 12550

**NO. 86-82**  
5/10 1989

RECEIVED FROM Michael Petrone - Vite Inc.  
Three Thousand Two Hundred Fifty 00/100 DOLLARS  
(Park Lands for Benedict Pond Subdivision) Check #173

Account Total \$ \_\_\_\_\_  
 Amount Paid \$ 3,250.00  
 Balance Due \$ \_\_\_\_\_

Maura Mason  
Secretary for New Windsor  
Planning Board

"THE EFFICIENCY LINE" AN AMPAD PRODUCT

**Planning Board**  
**Town Hall**  
 555 Union Ave.  
 New Windsor, N.Y. 12550

**NO. 86-82**  
5/10 1989

RECEIVED FROM Mrs. Johnson & Bennett  
Three Thousand Six Hundred Eighty 00/100 DOLLARS  
(Public Improvement Inspector's Fee for Benedict Pond Sub.)  
CK # 4786

Account Total \$ \_\_\_\_\_  
 Amount Paid \$ 3,680.00  
 Balance Due \$ \_\_\_\_\_

Maura Mason  
Secretary for New Windsor  
Planning Board

"THE EFFICIENCY LINE" AN AMPAD PRODUCT

**General Receipt** **8345**

**TOWN OF NEW WINDSOR**  
 Union Avenue  
 New Windsor, N. Y. 12550

Received of Benedict Pond Estates \$ 25.00  
Twenty Five and 00/100 DOLLARS

For Subdiv. application - 86-82

FUND	CODE	AMOUNT
<u>25.00 Check</u>		
<u># 3014</u>		

By Pauline J. Townsend  
Town Clerk  
 Title

Williamson Law Book Co., Rochester, N. Y. 14609

86-82

CHAIRPERSON:

RE MAP # 9499

TOWN

CITY

VILLAGE [ ]

New Windsor

THE FOLLOWING MAP HAS BEEN FILED IN THE ORANGE COUNTY CLERK'S OFFICE:

TITLE

Benedict Pond Estates

DATED

March 1987

FILED

May 22, 1989APPROVED BY Donnell McCarrollon May 10, 1989Charles L. Loeper  
Asst. Sec. Officer

65-1-58.2

## TOWN OF NEW WINDSOR

555 Union Avenue

New Windsor, N. Y. 12550

Special Receipt

10023

October 17, 1988Received of Clark Engineers P.C.\$ 2.75Two and 75/100

DOLLARS

For Eleven (1) Xerox copies

## DISTRIBUTION

FUND	CODE	AMOUNT
<u>Check #1355</u>		<u>\$2.75</u>

By Pauline S. Townsend SHTown Clerk

Title

Williamson Law Book Co., Rochester, N. Y. 14609

Eng. fees:

\$ 479.00

VILLAGE, ]

THE FOLLOWING MAP HAS BEEN FILED IN THE ORANGE COUNTY  
CLERK'S OFFICE:

TITLE Benedict Pond Estates  
DATED March 1987  
FILED May 22, 1989

APPROVED BY Donnell McCaullon May 10, 1989

Charles L. Loeper  
Reps Sec. Officer

65-1-58.2

**TOWN OF NEW WINDSOR**

555 Union Avenue  
New Windsor, N. Y. 12550

General Receipt

10023

October 17, 1988

Received of Clark Engineers P.C. \$ 2.75

Two and 75/100 DOLLARS

For Eleven (1) & more copies

DISTRIBUTION

FUND	CODE	AMOUNT
Check #1355		62.75

By Pauline D. Townsend

Town Clerk

Title

Williamson Law Book Co., Rochester, N. Y. 14609

Eng. fees: ~~\$449.00~~  
599.00

Pre. Prelim: 100.00

Prelim: 100.00

Final Plat: 165.00

Final Plat Sec fee: 150.00

~~\$449.00~~  
\$1114.00

Recreation fee: ~~\$3250.00~~  
3500.00

Plus: Public Improvement  
Inspect. fee:

3,680.00

4% \$12,000.00

(201) 471-3335

(914) 783-9407

**MOUNTAIN RIDGE ENTERPRISES**  
BUILDERS • DEVELOPERS • CONSTRUCTION MANAGERS

MICHAEL M. PETRONE  
Vice President

RD 1 BOX 673D  
MONROE, NEW YORK 10950

Benedict Pond Estates  
Subdivision (14 lots)

86-8

given to  
✓✓ P.B. Eng  
✓✓ Bldg Insp  
✓✓ OC Planning  
✓✓ Hwy  
✓✓ Sanitary  
✓✓ Water


**CLARK ENGINEERS**

 259 Route 17 K  
 Newburgh, New York 12550  
 (914) 564-8700

October 4, 1988

 Town of New Windsor Planning Board  
 555 Union Avenue  
 New Windsor, New York 12550

 RE: BENEDICT POND ESTATES SUBDIVISION  
 MOUNT AIRY AND DEANS HILL ROAD  
 FINAL APPROVAL - ADDITIONAL DOCUMENTATION

Dear Mr. Chairman and Board Members:

Enclosed are seven copies each of additional documentation as requested at the Planning Board's Review Meeting of September 28, 1988. This subdivision received "Final Approval Subject to" the following:

- Copy of Plan With N.Y.S.D.E.C. Approval Stamp
- Performance Bond Estimate
- Drainage Revisions

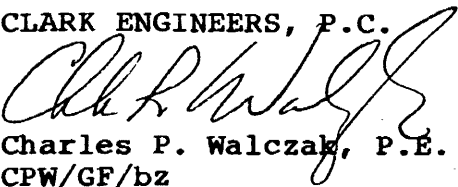
A. New drainage culvert (18" C.M.P.) will be installed across Mt. Airy Road in the vicinity of Lot #5.

B. Stone apron will be installed at the entrance of each culvert crossing Mt. Airy Road and Dean's Hill Road within this subdivision.

Upon final approval, kindly notify us so that the appropriate number of prints and reproducible drawings can be transmitted to the Town to receive the Town of New Windsor's Approval Stamp.

Very truly yours,

CLARK ENGINEERS, P.C.

  
 Charles P. Walczak, P.E.  
 CPW/GF/bz  
 Enclosure

 Newburyport, Mass.  
 Newburgh, New York  
 Rochester, New York  
 Washington, Illinois

BY GHF DATE 9/29/88  
CHKD. BY \_\_\_\_\_ DATE \_\_\_\_\_



CLARK ENGINEERS

SHEET NO. \_\_\_\_\_ OF \_\_\_\_\_  
JOB NO. \_\_\_\_\_

SUBJECT

BENEDICT POND ESTATES SUBDIVISION

LOCATION: MOUNT AIRY ROAD / DEANS HILL ROAD  
TOWN OF NEW WINDSOR

ESTIMATE TYPE: PUBLIC IMPROVEMENTS / PERFORMANCE BOND

WORK CLASSIFICATION	QUANTITY	UNIT PRICE	AMOUNT
- 8" P.V.C. SEWER LINE	1,440 LF	\$ 25 <sup>00</sup> /LF	\$ 36,000 <sup>00</sup>
- 18" DIA. SEWER MANHOLES w/ FRAMES AND GRATES DEPTH VARIES 5' - 16'	50 LF	" 175 <sup>00</sup> /LF	8,750 <sup>00</sup>
- DRIVEWAY CROSS DRAINS, 15" $\phi$	260 LF	" 15 <sup>00</sup> /LF	3,900 <sup>00</sup>
- 18" $\phi$ C.H.P. CROSS DRAIN ON MOUNT AIRY ROAD	30 LF	" 30 <sup>00</sup> /LF	900 <sup>00</sup>
- CLEAN & RESHAPE DITCHES	2,400 LF	\$ 2 <sup>00</sup> /LF	4,800 <sup>00</sup>
- STONE RIP-RAP CONVERT END APRON	9 SY	\$ 20 <sup>00</sup> /SY	180 <sup>00</sup>
- CLEAN EXISTING CULVERTS	100 LF	\$ 15 <sup>00</sup> /LF	1,500 <sup>00</sup>

TOTAL \$56,030

PERFORMANCE BOND AMOUNT \$56,000<sup>00</sup>

FEB 17 1988

**New York State Department of Environmental Conservation**  
202 Mamaroneck Avenue, White Plains, New York 10601



**Thomas C. Jorling**  
Commissioner

February 16, 1988

Mr. Charles P. Walzcak, P.E.  
Clark Engineers  
259 Route 17K  
Newburgh, New York 12550

Re: Approval of Plans and Specifications for  
Sanitary Sewer Extension to Serve  
Benedict Pond Estates Subdivision (13 Lot)  
Town of New Windsor; Orange County

Dear Mr. Walzcak:

This is to advise you that the plans and specifications for the above referenced project are being approved by this Department. This project consists of 1440 lineal feet of eight inch PVC gravity sewer pipe and five sewer sanitary manholes. The Town of New Windsor Sewage Treatment Plant was found to have adequate capacity to handle this project.

By initiating the construction of the said project covered by the approval of the plans and specifications, the applicant accepts and agrees to abide by and conform with the following:

- (1) This approval is issued pursuant to SPDES Permit No. NY-0022446.
- (2) That this approval letter shall be maintained on file by the applicant.
- (3) That the approval is revocable or subject to modification or change pursuant to Article 17 of the Environmental Conservation Law.
- (4) That any and all construction undertaken by the terms of the approval of plans shall be completely and wholly at the risk of the applicant.
- (5) That the facilities shall be fully constructed and completed in compliance with plans as approved on February 16, 1988.
- (6) That this office is to be notified when construction commences.

Mr. Walzcak  
Page 2  
February 16, 1988

- (7) That the engineer will forward the results of the leakage tests of the completed work to this Department.
- (8) That the professional engineer supervising such construction shall certify to this Department in writing and to the applicant that the constructed facilities have been under his supervision and that the works have been fully completed in accordance with the engineering report and the plans.
- (9) That the leakage outward or the infiltration inward of the constructed sewer line shall not exceed 200 gallons per inch of pipe diameter per mile per day for any section of the sewer system between manholes and including manholes.
- (10) The approved project must be completed within five (5) years of the approval date at which time the approval will expire.

Enclosed please find one copy of the approved plans and the engineering report. Also, one copy of the approved plans is being sent to the Orange County Health Department.

Very truly yours,



Cesare J. Manfredi P.E.  
Principal Sanitary Engineer

CJM:LM:bz  
Enclosure

cc: Orange County Health Department w/plans  
Supervisor and Planning Board, Town of New Windsor





# TOWN OF NEW WINDSOR

555 UNION AVENUE  
NEW WINDSOR, NEW YORK

<sup>1763</sup>  
May 9, 1989

Mr. Michael Petrone  
R.D. # 1  
Box 6730  
Monroe, New York

Subject: Benedict Pond Estates Subdivision  
Public Improvements Inspection Fee

Dear Mr. Petrone:


In accordance with Part II, Subdivision Regulations, of the Town Code, Section 6 (I) (3) and based on the Public Improvement Bond Estimate in the amount of \$ 92,000.00 approved by the Town Board at their 3 May 1989 meeting, an inspection fee in the amount of \$ 3680.00 should be paid to the Town of New Windsor.

Please make a separate check payable to the Town in this amount and present same at the time you provide the plans and mylars for the stamp of approval of the Planning Board.

Should you have any questions concerning the above, please do not hesitate to contact the undersigned at 565-8802.

Very truly yours,

TOWN OF NEW WINDSOR

  
Richard D. McGoey, P.E.  
Engineer for the Town

cc: ~~Planning Board~~  
Supervisor Green  
Comptroller Reis

## CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56 NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSOR

TASK: 66- 82

								-----DOLLARS-----			
TASK-NO	REC	--DATE--	TRAN	EMPL	ACT DESCRIPTION-----	RATE	HRS.	TIME	EXP.	BILLED	BALANCE
.....											
86-82	273	02/22/87	TIME	MJE	MC BENEDICT POND	40.00	0.50	20.00			
86-82	274	03/22/87	TIME	MJE	MC BENEDICT POND	40.00	0.50	20.00			
86-82	3152	08/11/87	TIME	MJE	MC BENEDICT PONDS SURD	40.00	0.50	20.00			
86-82	4647	10/12/87	TIME	MJE	MC BENEDICT	40.00	1.50	60.00			
86-82	5064	11/13/87	TIME	MJE	MC BENEDICT POND	40.00	1.50	60.00			
86-82	5853	12/08/87	TIME	MJE	MC BENEDICT	40.00	1.00	40.00			
86-82	5858	12/09/87	TIME	MJE	MC BENEDICT	40.00	0.50	20.00			
								240.00			
86-82	16092	08/17/88			BILL Benedict Partial Bil					-240.00	
											-240.00
86-82	17588	09/07/88	TIME	MJE	MC BENEDICT	40.00	0.20	8.00			
86-82	17723	09/12/88	TIME	MJE	MC BENEDICT	40.00	0.30	12.00			
86-82	18414	09/13/88	TIME	NJE	CL BENEDICT	17.00	0.50	8.50			
86-82	17733	09/14/88	TIME	MJE	MC BENEDICT	40.00	0.50	20.00			
86-82	18672	09/24/88	TIME	MJE	MC BENEDICT	40.00	0.80	32.00			
86-82	18674	09/25/88	TIME	MJE	MC BENEDICT	40.00	0.90	36.00			
86-82	20091	09/27/88	TIME	NJE	CL BENEDICT	17.00	0.50	8.50			
86-82	19077	09/28/88	TIME	MJE	MC BENEDICT	40.00	0.30	12.00			
86-82	21252	11/07/88	TIME	MJE	MC BENEDICT	40.00	0.50	20.00			
86-82	21625	11/25/88	TIME	MJE	MC BENEDICT FINAL REV	40.00	1.00	40.00			
								437.00			
86-82	21287	11/14/88			BILL Partial Billing					-157.00	
86-82	21626	11/25/88			BILL Benedict Pond Est.					-40.00	
											-437.00
86-82	33908	05/03/89	TIME	MJE	MC DISC W/PETRONE	60.00	0.20	12.00			
86-82	33909	05/04/89	TIME	MJE	MC VISIT FROM PETRONE	60.00	0.50	30.00			
								=====	=====	=====	=====
TASK TOTAL								479.00	0.00	-437.00	42.00

GRAND TOTAL

479.00

0.00

-437.00

42.00

5/9/89 2 hours

+ 120

+ 120.00

162.00

599.00

BENEDICT POND ESTATES SUBDIVISION (86-82)

Mr. Charles Walczak came before the Board representing this proposal.

Mr. Walczak: We are here with the Benedict Pond Estates thirteen lot subdivision. We are looking for final approval on this. We have addressed all the comments that have been previously requested by the Board and by the Engineer. We have all the approvals of the Health Department, Environmental Conservation Department. As I understand, there is one remaining concern. Do you have a fact sheet he had from your review?

Mr. Edsall: The sheet you gave that responded to all items?

Mr. Walczak: Yes.

Mr. Edsall: Yes.

Mr. Walczak: As far as I understand we have responded to all the requests and there is one apparently one last remaining concern that being the drainage that has to be considered for the site. I spoke with Mark last week and asked him to re-review the drainage calculations that he had already reviewed once before and apparently had agreed with and approved and then I know, Tippy, you wanted to see where the pipes were on the plan. I know that was one of your biggest concerns and we located the crossing, the existing crossings that are on Mount Airy Road. There is a 15 inch diameter pipe here. There is an 18 inch concrete pipe here with a catch basin that is existing and there is another 12 inch diameter pipe reinforced concrete pipe drainaing in this direction across Dean Hill Road.

Mr. Jones: It don't show on your plan.

Mr. Walczak: It shows right here.

Mr. Jones: I'm sorry.

Mr. Walczak: I am pointing to those areas that is what you wanted. You asked for that and they are added.

Mr. Schiefer: Are you sure that drains and I thought that was up hill?

Mr. Walczak: This is Dean Hill Road which goes down a hill and it drains in this direction. These all drain across the street and what I did since I knew it was a concern of the Board, I prepared I know you reviewed the drainage calculations and came out to 10.1 cubic feet per second that would come off of this site during a storm. Without the development, we calculated about 7 cubic feet per second of flow because of the development, it will produce about ten cubic feet per second. So, what I did, I calculated I drew up a typical open ditch which I'd like to show you with the calculations on it to show you that a ditch that is three feet wide at the top, one foot wide at the bottom and about two feet deep will in fact using the formula--

Mr. Jones: Are you aware that them pipes are filled up?

Mr. Walczak: Just let me finish. It will handle 24 cubic feet per second. Now, these are this ditch section is typical of what we anticipate to have out there when the subdivision is completed. In otherwords, the ditches are going to be cleaned to that cross section, the pipes that go across Mount Airy Road will be cleaned out, whatever debris is inside they will be cleaned out so going through all the engineering calculations for the drainage, there is no question that it will work because in fact it will be two and a half times capacity that is required based on our calculations. Mark, you reviewed these calculations and you feel they are reasonable?

Mr. Edsall: I believe they are reasonable and I also feel that if the Board requires that the drainage swales be properly formed and cleaned out all the culverts that will be in the area, if you don't do that, we may have a problem. But since you are offering to do that--

Mr. Scheible: Let me ask one question. We all know that these drains were cleaned out over the years when the drain was put in it was cleaned out. We all know it is not too clean today and you are on the side of a hill and just simply, from the brush and grass that keeps on washing down is it possible that along that line there, right along Mount Airy Road when you dig it out and make your swale?

Mr. Walczak: There is a ditch there, they are going to clean it out and make sure it works right.

Mr. Scheible: I want to go one step further. Is it possible we can put a wrp-wrap in there to contain it a little bit better. I guess I think, am I right or wrong?

Mr. Edsall: If you put wrp-wrap in there it is going to remain open for a lot longer. It will hole up longer. The question comes down to if it is not placed properly it will become a maintenance problem for the Town, rather than just a regular swale.

Mr. Scheible: We have all traveled that road, I have traveled that road. I am trying to prevent what has happened on this road in the wintertime, spills out over the road and freezes. Am I right or wrong?

Mr. Edsall: The deepening of the swale will help it maybe advisable to wrp-wrap the areas for the entrance to the culverts.

Mr. Scheible: Rather than go the whole distance, just around the whole culvert.

Mr. Van Leeuwen: I have been there before now there is no building there at all we walked the whole area right here, here to here, we found the culverts either here or here.

Mr. Walczak: We'd have no problem enhancing the entrance to the culvert to facilitate any caving in of material that could get into those pipes. Note nine was added to the plans that states that all existing ditches will be cleaned and the culverts under the roads will be cleaned for proper drainage so we have addressed that and if you'd like we can I am sure the owner would have no problem with enhancing the entrance to those culverts by putting wrp-wrap or whatever.

Mr. Edsall: Do they have end sections on those culverts now?

Mr. Walczak: No.

Mr. Edsall: Maybe on the effluent end one could be put on.

Mr. Walczak: The end section takes up two or three feet and you'd have to actually excavate into the shoulder of the road, cut off a piece of the pipe and add an end section.

Mr. Edsall: Are they 90 degree?

Mr. Walczak: Yes, these two are but there is a rough 45 across the road.

Mr. Edsall: Never mind on that idea. Make one culvert that goes under the phone company drive that is about compressed to half its capacity. It is a 12 inch compressed to about half.

Mr. Walczak: There is actually under the driveway here the end of it is probably a truck ran over the end of it.

Mr. Van Leeuwen: We are going to see the highway superintendent on it because once the culverts been turned over the Town, that is the highway department's responsibility.

Mr. Pagano: Telephone or power line?

Mr. Walzak: Telephone line. It shows here, there is a line with poles coming through. There was a note that we put on the plan about the clearing of trees being restricted on those lots, lots 9, 10, 11 and 12 which are right through here, this area.

Mr. Pagano: Can I look at that photograph?

Mr. Walczak: We are talking about in this area here there is a line of trees, well, see, there is no development planned for that area and these lots are restricted with the amount of clearing that can be done to place the house. I think the owner would warrant the fact that let me show him the trees you are talking about. No question, the owner wants to leave those trees there too.

Mr. Schiefer: Mark, your opinion right now with the added drainage from that development without opening the culverts it won't handle it. If they clean it out it will work?

Mr. Edsall: I have heard it is not handling it without the development.

Mr. Schiefer: It is partially blocking but if you open it up what is to keep it from doing the same thing again?

Mr. Edsall: Anything without maintenance will not work so we are assuming there will be maintenance provided by the Town to maintain the drainage. I think Carl the answer is the improvements they are going to make is going to compensate for the additional drainage and Mr. Walczak has submitted to the town calculations that demonstrate that it will help out tremendously.

Mr. Mc Carville: I make a motion that the Planning Board of the Town of New Windsor approve the Benedict Pond Estates Subdivision.

Mr. Van Leeuwen: We are not going to ask for another culvert?

Mr. Mc Carville: What other culvert, no, Mark feels what is there is adequate.

Mr. Van Leeuwen: I won't go for it because I know what is going to happen, it is existing now and ounce of prevention is worth a pound of cure. If we have our culvert, we don't have to worry if a bull dozer comes in and cloggs a ditch and a rain storm and ice you are going to have people spinning their wheels.

Mr. Scheible: Where do you want the culvert?

Mr. Van Leeuwen: Couple hundred feet up from the other culvert, half way between the two.

Mr. Mc Carville: Before you get to the phone company driveway?

Mr. Van Leeuwen: And I know this is not going to be any problem there is a lot of water that comes over Dean Hill Road that does not go into drainage.

Mr. Pagano: The calculations don't give that figure, the efficiency. So, I have all these figures going out the window as soon as we ask the water go to 90 degrees. I disagree with the engineer. He is agreeing that it will flow in a straight line but I don't see any figures to show me it is going to make a 90 degree turn.

Mr. Edsall: There is three to one factor between the capacity and the flow so what I am saying is that an again I take no opposition to the Board adding to the requirements to make the system better. If you want to have the system better, fine. What I am saying is that they have given us calculations to show us it is not just barely making it. It is making it with substantially over design. If you are aware of a certain condition I think you should address it.

Mr. Van Leeuwen: It is a bad spot.

Mr. Edsall: You have lived in Town and been in the area much longer than I have so if you know a specific area it should be addressed.

Mr. Walczak: If the culverts are cleaned out and maintained, there won't be a problem with drainage. We are willing to do that initially to straighten out that problem.

Mr. Van Leeuwen: I move the question. I will second that motion.

Mr. Rones: Mark, has there been any clarification of your point number five on the sewer district extension?

Mr. Edsall: Not the district extension. Comment number five notes that in the submission package we received from the applicant, there is an application to the DEC for sanitary sewer extension. I am requesting that we get an approval letter or a copy of the approved plans. I am not aware of them being approved yet.

Mr. Walczak: On September 15, we submitted a package of information with a letter that was previously submitted when the approvals were received.

Mr. Edsall: You have the application to the DEC. Have they approved the plans yet?

Mr. Walczak: Yes, I have a letter that was made part of the package.

Mr. Edsall: Do you have the approved plans they will have to be submitted to the Town so they will have those when you want to make the dedication. The one set of approved, stamped plans?

Mr. Walczak: All of the plans that I submitted were stamped by the Orange County Health Department.

Mr. Edsall: DEC?

Mr. Walczak: They did send back one, we submitted to them three copies of the plan and they send back, if I am not mistaken, two copies that were stamped.

Mr. Babcock: If we are going to have an extension to our sewer district I am not saying that the Town hasn't agreed to it if we are going to have an extension that is going to be dedicated to the Town, there should be some bonding engineered with this site plan to insure that this sewer line is done also. The representative should submit to Dick Mc Goey the Town Engineer, a bond estimate for any improvements that is going to be eventually dedicated to the Town of New Windsor.

Mr. Van Leeuwen: The bonding has to be put up front.

Mr. Scheible: And it has to be before the Board.

Mr. Edsall: Just a clarification, the package dated September 15 that I was referring to and Mr. Walczak alluded to included the application to the DEC. Mr. Walczak gave me a letter stating that they did have approval from the DEC. What I am requesting somewhere along the line that the applicant give us one set of the actual stamped approved plans because they have to go on record with the Town. As far as the bonding goes that has to be approved by the Town Engineer before it could be stamped. Again, that doesn't preclude your action. I don't believe.

Mr. Walczak: The bonding that you are referring to is that the bonding to install the new culvert that you desire across Mount Airy Road?

Mr. Babcock: Any improvements dedicated to the Town of New Windsor also the sewer lines.

Mr. Walczak: That is right.

Mr. Scheible: How does your client feel about putting the additional culvert in to remedy a situation that seems to be there?

Mr. Walczak: The owner has advised me he has no problem putting the culvert across the Mount Airy Road as you desire as long as final approval is imminent.

Mr. Scheible: The improvement would have to be put on the map and before it--

Mr. Walczak: If we can have final approval subject to that being placed on the map.

Mr. Van Leeuwen: You have to go to the Town Engineer and get a bonding estimate.

Mr. Edsall: The Board doesn't set that amount so you can make it subject to an acceptable amount per the Town law. It is up to you if you want to do it that way or wait.

Mr. Scheible: That is going to be up to the engineer and the Town Board but we will not stamp it until.

Mr. Jones: You are going to submit another map?

Mr. Walczak: The map will be revised to show the additional culvert, okay. At the same time after that is done, we will bring the map in that has all of the necessary approval statements on there from the DEC and from the Health Department along with the bond application before he will stamp it approved.

Mr. Mc Carville: I will amend my motion to approve the Benedict Pond Estates Subdivision subject to revised map with culvert under Mount Airy Road and submittal of the bonding estimate to be approved by the Town Engineer, Town Attorney and Town Board.

Mr. Jones: I will second that.

Mr. Van Leeuwen: You are going to go along with all them subject to's?

Mr. Jones: He knows he knows what we want. That is all there is to it.

Mr. Van Leeuwen: You are against the subject to's.

ROLL CALL:

Mr. Schiefer: I have no objection if all those things are done. I don't like subject to's but I will vote yes on this one.

Mr. Pagano: Yes, subject to.

Mr. Van Leeuwen: I don't like the subject to but I will vote yes.

Mr. Mc Carville: Yes.

Mr. Jones: Aye

Mr. Scheible: Aye.

#### ANDERSON SUBDIVISION (88-29)

Mr. William Hildreath came before the Board representing this proposal.





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TOWN OF NEW WINDSOR  
PLANNING BOARD  
REVIEW COMMENTS

PROJECT NAME: Benedict Pond Estates Subdivision  
PROJECT LOCATION: Mt. Airy Road and Dean Hill Road  
PROJECT NUMBER: 86-82  
DATE: 28 September 1988

1. The Applicant proposes a fourteen (14) lot subdivision of a 13.9 +/- acre parcel located at the intersection of Mt. Airy Road and Dean Hill Road. The subdivision proposal has been reviewed at seven (7) previous meetings between 25 February 1987 and most recently at the 14 September 1988 Planning Board Meeting.
2. The Applicant, by letter dated 15 September 1988, has responded to the various comments of the Planning Board and the Planning Board Engineer.
3. It should be noted that the Applicant has submitted a plan set, Sheets 1 through 3, bearing the Stamp of Approval from the Orange County Department of Health. (For Realty Subdivision Approval).
4. I have reviewed the description of the proposed dedication along Mt. Airy Road and find same acceptable. The formal dedication papers should be forwarded to the Town Attorney.
5. With the Applicant's Engineer's letter dated 15 September 1988, a copy of an application for the sewer extension has been included; however, I have been unable to locate an approval letter or stamped Approved plans. It is my understanding that the sewer extension would require approval from the New York State Department of Environmental Conservation, prior to the Planning Board's Final Approval. This should be discussed.
6. Other than the previously mentioned approval documentation, it is my opinion that the Applicant has responded to all previous questions and Final Approval can be considered.

Respectfully submitted,

A handwritten signature in dark ink, appearing to read 'Mark J. Edsall', is written over a horizontal line.

Mark J. Edsall, P.E.  
Planning Board Engineer

MJEnje  
benedict



## CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56 NEW WINDSOR PLANNING BOARD

CLIENT: NEWWIN - TOWN OF NEW WINDSOR

TASK: 86- 82

TASK-NO	REC	--DATE--	TRAN	EMPL	ACT	DESCRIPTION-----	RATE	HRS.	TIME	-----DOLLARS-----		
										EXP.	BILLED	BALANCE
86-82	471	02/22/87	TIME	MJE	MC	BENEDICT POND	40.00	0.50	20.00			
86-82	472	03/22/87	TIME	MJE	MC	BENEDICT POND	40.00	0.50	20.00			
86-82	4739	08/11/87	TIME	MJE	MC	BENEDICT PONDS SUBD	40.00	0.50	20.00			
86-82	6659	10/12/87	TIME	MJE	MC	BENEDICT	40.00	1.50	60.00			
86-82	7196	11/13/87	TIME	MJE	MC	BENEDICT POND	40.00	1.50	60.00			
86-82	8083	12/08/87	TIME	MJE	MC	BENEDICT	40.00	1.00	40.00			
86-82	8088	12/09/87	TIME	MJE	MC	BENEDICT	40.00	0.50	20.00			
									240.00			
86-82	19298	08/17/88			BILL	Benedict Partial Bil					-240.00	
											-240.00	
86-82	20918	09/07/88	TIME	MJE	MC	BENEDICT	40.00	0.20	8.00			
86-82	21075	09/12/88	TIME	MJE	MC	BENEDICT	40.00	0.30	12.00			
86-82	21818	09/13/88	TIME	NJE	CL	BENEDICT	17.00	0.50	8.50			
86-82	21085	09/14/88	TIME	MJE	MC	BENEDICT	40.00	0.50	20.00			
86-82	22104	09/24/88	TIME	MJE	MC	BENEDICT	40.00	0.80	32.00			
86-82	22106	09/25/88	TIME	MJE	MC	BENEDICT	40.00	0.90	36.00			
86-82	23593	09/27/88	TIME	NJE	CL	BENEDICT	17.00	0.50	8.50			
86-82	22551	09/28/88	TIME	MJE	MC	BENEDICT	40.00	0.30	12.00			
86-82	24828	11/07/88	TIME	MJE	MC	BENEDICT	40.00	0.50	20.00			
						TASK TOTAL			397.00	0.00	-240.00	157.00
						GRAND TOTAL			397.00	0.00	-240.00	157.00

*Additional bills to follow*



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WILLIAM J. HAUSER, P.E.  
MARK J. EDSALL, P.E.

Licensed in New York,  
New Jersey and Pennsylvania

25 November 1988

MEMORANDUM

TO: TOWN OF NEW WINDSOR PLANNING BOARD  
FROM: MARK J. EDSALL, P.E., PLANNING BOARD ENGINEER  
SUBJECT: BENEDICT POND ESTATES SUBDIVISION  
T/NW PROJECT # 86-82

I have reviewed the plans submitted with the letter from Clark Engineers dated 4 October 1988 and it is my observation that the applicant has complied with the conditions of the "subject to" approval of the Planning Board at their 28 September 1988 meeting.

Prior to stamp of approval, the Public Improvements Bonding Estimate which was submitted with the aforementioned letter (copy attached) must be approved by Richard McGoeY and the Town Board. Following same, a bond acceptable to the Town must be posted.

A copy of the engineering fees for the planning board review is attached for your convenience.

AS OF: 11/25/88

PAGE: 1

CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56 NEW WINDSOR PLANNING BOARD  
TASK: 86- 82

CLIENT: NEWWIN - TOWN OF NEW WINDSOR

TASK-NO	REC	--DATE--	TRAN	EMPL	ACT DESCRIPTION-----	RATE	HRS.	TIME	-----DOLLARS-----		
									EXP.	BILLED	BALANCE
86-82	471	02/22/87	TIME	MJE	MC BENEDICT POND	40.00	0.50	20.00			
86-82	472	03/22/87	TIME	MJE	MC BENEDICT POND	40.00	0.50	20.00			
86-82	4739	08/11/87	TIME	MJE	MC BENEDICT PONDS SUBD	40.00	0.50	20.00			
86-82	6659	10/12/87	TIME	MJE	MC BENEDICT	40.00	1.50	60.00			
86-82	7196	11/13/87	TIME	MJE	MC BENEDICT POND	40.00	1.50	60.00			
86-82	8083	12/08/87	TIME	MJE	MC BENEDICT	40.00	1.00	40.00			
86-82	8088	12/09/87	TIME	MJE	MC BENEDICT	40.00	0.50	20.00			
								240.00			
86-82	19298	08/17/88			BILL Benedict Partial Bil					-240.00	
										-240.00	
86-82	20918	09/07/88	TIME	MJE	MC BENEDICT	40.00	0.20	8.00			
86-82	21075	09/12/88	TIME	MJE	MC BENEDICT	40.00	0.30	12.00			
86-82	21818	09/13/88	TIME	MJE	CL BENEDICT	17.00	0.50	8.50			
86-82	21085	09/14/88	TIME	MJE	MC BENEDICT	40.00	0.50	20.00			
86-82	22104	09/24/88	TIME	MJE	MC BENEDICT	40.00	0.80	32.00			
86-82	22106	09/25/88	TIME	MJE	MC BENEDICT	40.00	0.90	36.00			
86-82	23593	09/27/88	TIME	MJE	CL BENEDICT	17.00	0.50	8.50			
86-82	22551	09/28/88	TIME	MJE	MC BENEDICT	40.00	0.30	12.00			
86-82	24828	11/07/88	TIME	MJE	MC BENEDICT	40.00	0.50	20.00			
86-82	25232	11/25/88	TIME	MJE	MC BENEDICT FINAL REV	40.00	1.00	40.00			
								437.00			
86-82	24869	11/14/88			BILL Partial Billing					-157.00	
										-397.00	
					TASK TOTAL			437.00	0.00	-397.00	40.00
					GRAND TOTAL			437.00	0.00	-397.00	40.00

TOTAL FEE

86-82  
9-14-88



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New Jersey and Pennsylvania

TOWN OF NEW WINDSOR  
PLANNING BOARD  
REVIEW COMMENTS

PROJECT NAME: Benedict Pond Estates Subdivision  
PROJECT LOCATION: Mt. Airy Road and Dean Hill Road  
PROJECT NUMBER: 86-82  
DATE: 14 September 1988

1. The Applicant proposes a fourteen (14) lot subdivision of a 13.9 +/- acre parcel located at the intersection of Mt. Airy Road and Dean Hill Road. The subdivision proposal has been reviewed at a total of six (6) various meetings between 25 February 1987 and most recently at the 9 December 1987 Planning Board Meeting.

2. The Application/Subdivision received preliminary approval at the 9 December 1987 Planning Board Meeting. Final plan resubmission should have occurred within six (6) months. As the first action in the continuation of this Application, the Board should grant an extension (if it already has not) regarding the required resubmittal period.

3. At the 9 December 1987 meeting, this Engineer provided a two (2) page comment sheet regarding the subdivision. As of this date, I have received no revised plan to address these concerns.

4. It is necessary that the Owner obtain all necessary approvals for the sanitary collection system extension. Documentation of approval should be submitted to the Planning Board.

5. At such time that revised plans and additional documentation is received, further engineering review can be made and additional comments provided, if necessary.

Respectfully submitted,

A handwritten signature in dark ink, appearing to read 'Mark J. Edsall', written over a horizontal line.

Mark J. Edsall, P.E.  
Planning Board Engineer

MJE:je

benedict

BENEDICT POND EST. SUBDIVISION

George Fong came before the Board representing this proposal.

Mr. Fong: I am here to request final approval that we have Health Department approval and DEC. The first drawing is the location drawing.

Mr. Lander: In your comments, you have that you didn't--have you seen this latest map.

Mr. Edsall: No, I haven't.

Mr. VanLeeuwen: I think it should go back to our engineers before.

Mr. Scheible: I will give a copy of the comments made by our engineers. The problem that arises is that our engineer never received the up-dated set of plans.

Mr. Fong: I spoke to Mark this afternoon. We submitted to the Planning Board, I assumed it would be distributed.

Mr. Ronces: You need some time to review them.

Mr. Edsall: I am not aware of any plans being submitted to the Planning Boards office. If they have made their way in there, I, unfortunately, didn't get a copy. I had comments back on the 9th of December, 1987, two pages worth and I'd like to see those items addressed and at this point, I don't know what is on the new plan.

Mr. VanLeeuwen: I suggest we give the plans to our engineer and let him look at them. I know there is some changes that have to be made.

Mr. Scheible: And, I will wait for Mark's decision when he is ready to put this back on the agenda.

Mr. Ronces: It appears that we, because of the time that has gone by between preliminary approval and the final, the submission for final approval that extension of time for the six month deadline is required to be given.

Mr. Van Leeuwen: I have no problem with that. I move that the Planning Board of the Town of New Windsor grant a six month extension of time to the Benedict Pond Subdivision.

Mr. Schiefer: I will second that motion.

ROLL CALL:

MR. PAGANO	AYE
MR. LANDER	AYE
MR. SCHIEFER	AYE
MR. SCHIEBLE	AYE
MR. VAN LEEUWEN	AYE
MR. JONES	AYE

Mr. Jones: You should make a note we want to know where the storm water is going.

Mr. Fong: Okay.

Mr. Jones: You don't show anything on the plans. Everytime you come in, you show nothing.

Mr. Fong: I believe there is existing drains and there is notes on the plan regarding ditches that will be cleaned.

Mr. Jones: Tell your boss that.

Mr. Edsall: While we have the applicant here, I have copies of both their plans in furtherance of Mr. Jones' request and based on the previous request of the board, we should get a separate submittal as to how they feel the drainage will be handled. If they feel it is a problem or not they should submit some information for us to look at. I would expect to receive something about drainage so that before they are put on the agenda. We will be awaiting in addition to what we have, we will be awaiting that submittal.

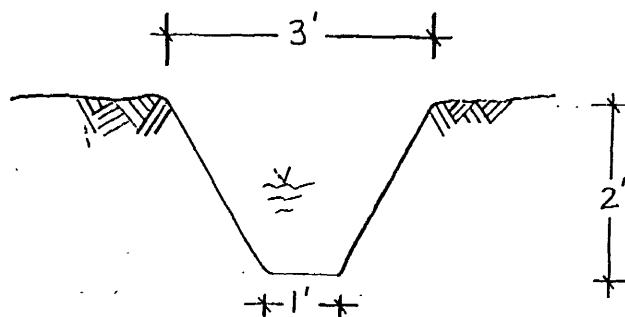


*Minutes 9-14-88*

Mr. Scheible: It is a very important factor in this approval, is the drain water situation. There is always been problems down through the years in that area, alot of times that road just turns into one big ice skating rink with the drainage the way it is right now and if you put a few blacktop drives and roofs, you will have a lot more water coming there.

Mr. VanLeeuwen: We should go down and look at that. When you have possible drainage like that, you go down and look at it.

---

OPEN DITCH RUNOFF CAPACITYTYPICAL DITCH SECTIONMANNING'S OPEN CHANNEL FLOW CAPACITY

$$Q = \frac{1.49}{n} \times A \times R^{2/3} \times S^{1/2}$$

Q = Flow (c.f.s.)

A = Area of Ditch = 4.0 sf

n = Manning Roughness Coefficient = 0.02

R = Hydraulic Radius =  $A \div W_p$  (wetted perimeter)  
 $= 4.0 \text{ sf} \div 5.47 = 0.73$

S = Slope =  $0.01^{1/2} = 0.1$

$$\text{Therefore, } Q = \frac{1.49}{0.02} \times 4 \times 0.73^{2/3} \times 0.01^{1/2} = 24.15 \text{ c.f.s.}$$

24.15 c.f.s. > 10.21 c.f.s.  
 (Ditch Capacity) > (Anticipated Flow)  
 From Benedict Pond Estates



**CLARK ENGINEERS**

258 Route 17 K  
Newburgh, New York 12550  
(914) 584-8700

September 15, 1988

Town of New Windsor Planning Board  
555 Union Avenue  
New Windsor, New York 12550

RE: BENEDICT POND ESTATES SUBDIVISION  
MOUNT AIRY AND DEAN HILL ROADS  
FINAL APPROVAL - DOCUMENTATION

Dear Mr. Chairman and Board Members:

Enclosed are supporting documentation for the final approval submission for the above referenced project. Fourteen copies of the plans were submitted to the Planning Board on August 14, 1988.

The following items of concern as noted during the September Board Meeting are addressed below:

- Drainage:

Kindly refer to the Planning Board's Meeting Minutes of December 9, 1987 in which drainage concerns were discussed. As requested in that meeting, existing cross drains are shown on Plan Sheet 2 of 3. Note Nos. 7 and 9 further addresses drainage requirements along Dean Hill Road and Mount Airy Road. Also attached is a previously submitted copy of the Storm Drainage Run-off Analysis for this subdivision.

- Planning Board Review Comments dated December 7, 1987 from the Town Engineer:

Item 2a) Documentation attached regarding Sewer District Extension.

Item 2b) Copy of Application attached.

Philip J. Clark, P.E.  
David B. Clouser, L.S.  
Mark A. Cordes, P.E.  
Henry K. Cornelius, P.E.  
Lowell B. Dewey, P.E.  
Timothy L. Gleson, P.E.  
John Henderson, L.S.  
Dennis F. Hermann, P.E.  
Chen W. Keo, P.E.  
Roger G. Keefauver, P.E.  
Philip J. Lane, P.E.  
Jene A. Luce  
Thomas H. McElheny, P.E.  
Earl S. Moldovan, P.E.  
Donald P. Nims, Jr., P.E.  
Russell C. Pickett, P.E.  
Richard J. Rodde, P.E.  
Paul J. Schweickert, P.E., L.S.  
Roger J. Vanderbrook, P.E.  
Charles P. Welczek, P.E.  
Robert L. Weisenrieder, P.E.  
David A. Wright, P.E.

Newburyport, Mass.  
Newburgh, New York  
Rochester, New York  
Washington, Illinois

Town of New Windsor Planning Board  
September 15, 1988  
Page 2

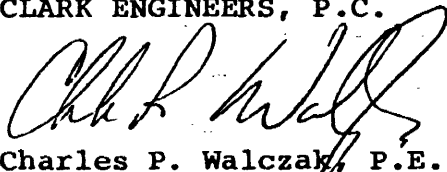
- Item 2c) Maximum 16% driveway grade established at the December 9, 1987 Planning Board Meeting. Plan Sheet 2, Note No. 8 stipulates maximum driveway grade to be 16%.
- Item 4) Metes and Bounds clarity rectified.
- Item 5a) Plans bare signature and stamp of Licensed Surveyor.
- Item 5b) Attached is a copy of the Legal Description dedicating a portion of Mount Airy Road to the Town of New Windsor for Public Highway purposes.

We respectfully request that this documentation be included as part of the final plan submission of August 14, 1988 and be placed on the agenda of the Town's next regular Planning Board Meeting.

If the Town has any other concerns that require our attention, please call.

Very truly yours,

CLARK ENGINEERS, P.C.



Charles P. Walczak, P.E.  
CPW/GF/bz

cc: Mr. Michael Petrone  
Mr. Donald Mirro, Attorney  
Board Members  
Mr. Edsall, Town Engineer

Mr. Kullberg: Yes.

Mr. Rones: So it is set forth in the record that the reason for the denial is that the Planning Board cannot create a sub-standard lot. The minimum required lot area in the zone is 32,670 square feet and the proposed subdivision creates two lots that are smaller than that.

Mr. Scheible: If you do go to the Zoning Board of Appeals and they grant you this variance, this variance will not give you, correct me if I am wrong Joe that variance does not give you the right to go ahead and start building. You then after you get the variance from the Zoning Board of Appeals you would have to come back before the Planning Board to get subdivision approval. The Zoning Board of Appeals may or may not give you this, if they find to give you the variance I am giving you the hypothetical that does not give you the permission to go on and start building. You still have to come back before this Board to receive our approval.

Mr. Kullberg: I understand.

*12/9/87 PLANNING BOARD MEETING*

BENEDICT POND ESTATES SUBDIVISION (86-82)

Mr. Charles Walczak came before the Board representing this proposal.

Mr. Walczak: We are here this evening after all corrections have been made to this Benedict Pond Subdivision I say corrections that being we have addressed all the issues brought up by the engineer's comments from last time. I expect that there will probably be a new list this evening. We have addressed every issue. One of the issues was the service of the sewers. We have a letter from the Town of New Windsor indicating that this particular subdivision is going to be allowed into the sewer district. It is presently not within the boundary of the sewer district which is sewer district 19. Sewer district 19 goes around the periphery of this piece but we have a letter from the Town saying that they approve the connection of this subdivision into the sewer district. That was one of the main problems we were having with this thing and that has been solved all of the other comments have been addressed and I ask for your additional comments this evening. We are looking for this evening is preliminary approval and a declaration on SEQR.

Mr. Schiefer: What are your comments on the drainage Mark?

Mr. Edsall: The drainage basically has been addressed by Charlie and at this point I feel comfortable that the final details as far as any improvements in culverts can be straightened out between preliminary and final approval. I just haven't had at this point time to get together with Charlie and go out and look at the culvert and review them but we can solve that. He's got a long lead time to go to the County.

Mr. Schiefer: I have heard the same comments from people who have looked at it.

Mr. Edsall: You still have to find the ability to hold up final approval until it is completely solved. He has addressed it by giving me calculations.

Mr. Scheible: Are you familiar with the letter that the Town sent to Mr. Walczak Mark?

Mr. Edsall: Not at this point.

Mr. Jones: This Board isn't either. I am not.

Mr. Edsall: Do you have a copy of the letter from the Town's attorney?

Mr. Walczak: That was with the package that I gave you.

Mr. Edsall: If the Board will continue I will look at the package.

Mr. Walczak: When I submitted the plans over a week and a half ago for this meeting the entire package was submitted at that time. This letter that you are reading from the Town of New Windsor regarding the sewers was in the package with some other papers.

Mr. Edsall: We were inadvertently not copies.

Mr. Scheible: This is regarding Benedict Pond Estates from J. Tad Seaman. The Town is agreeable to allow your client's property to hook into the existing sewer system by a bond that is prepared by your engineer. The letter is dated November 19, 1987 to the attention of Donald Mirro.

Mr. Jones: That is taken care of the sanitary sewer. What are we going about the sewer.

Mr. Scheible: What sewer?

Mr. Jones: Storm water drainage.

Mr. Scheible: Mark feels comfortable with it now.

Mr. Jones: I think it should be on the map and it's got to be there when you get through with it.

Mr. Scheible: He still has to come back for final.

Mr. Jones: He better be well aware I am going to be after him for that reason.

Mr. Walczak: If I can clarify for you. There are three cross drains, one on Mt. Airy Road and one at the intersection of Dean Hill and Mt. Airy. One is in this direction here by the corner which collects, the water goes in front of the telephone building which has a cross drain which collects here it is a low point and runs in this direction and there is one up in this area which water drains in off Mt. Airy Road.

Mr. Jones: You don't show them on the map.

Mr. Walczak: They will be shown but they are not there and believe me they will be there for final approval.

Mr. Jones: They better be.

Mr. Mc Carville: I'd like to make a motion that the Planning Board declare a negative declaration in relation to the SEQR process as it pertains to the

Benedict Ponds Estates.

Mr. Schiefer: I will second that.

MR. MC CARVILLE	AYE
MR. SCHIEFER	AYE
MR. LANDER	AYE
MR. REYNS	AYE
MR. JONES	AYE
MR. SCHEIBLE	AYE

Mr. Mc Carville: I make a motion we give preliminary approval to the plans of Benedict Pond Estates Subdivision.

Mr. Schiefer: I will second that.

MR. MC CARVILLE	AYE
MR. SCHIEFER	AYE
MR. LANDER	AYE
MR. REYNS	AYE
MR. JONES	NAY
MR. SCHEIBLE	AYE

Mr. Walczak: Before I leave I'd like to know if the Board at this time has any comments based on the engineer's evaluation at this time in order to avoid any problems in the future. I have a copy of this but there is a lot there left up to the Board I was wondering if you had any comments on his comments.

Mr. Edsall: The only comment I have passed on that I am looking for input is the driveways I can explain it somewhat. I had been concerned on previous submittals at the location of the house as shown and assuming that the residents would want their drives to go to the houses a lot of the drives went to 40 percent and 30 and down to a normal percentage in areas if you averaged it it wasn't that we are not looking for a mining operation to grade the whole site we are trying to keep the grades reasonable. Charlie demonstrated by relocating the houses towards the roads the drives could be brought down to 16. What I am looking for from the Board is obviously if you want to restrict the slopes the submittal should show the locations of the houses suitable for the driveways you want. I don't know what kind of drives the Board would prefer. We had some concerns from the superintendent of highways about the visibility on the road so my recommendation is you wouldn't want very steep drives on those roads. That is questionable you may want to restrict so that he can work his submittals based on that.

Mr. Walczak: I drew a sketch of this and submitted it because this is the worse case the greatest drive elevation between the road and house location if the house were located as shown up here we are looking at cross section at the worse case you'd have a 20 percent grade from the road to the house. If the house were located lower on the lot and I picked arbitrary point somewhere here you can see you can get a 16 percent grade off the drive to the house. I disagree with your engineer's comment about 40 percent grade because there is nowhere does there exist a 40 percent grade.

Mr. Edsall: The driveway on lot six goes up to 38 percent.

Mr. Rones: What if you zig zaged.

Mr. Walczak: That is a possibility too we are showing straight drives, they can certainly be that as you know we had combined drives then. Now we separated the drives so again so that we don't have a problem when we come in I'd like to hear some comments.

Mr. Mc Carville: I'd like to see the grades indicated on the final plans for the drives if that is not a problem.

Mr. Walczak: You'd like to see a percentage grade as shown?

Mr. Mc Carville: Yes.

Mr. Rones: Doesn't the Board want to minimize, you are telling him to zig zag or do whatever he wants to do.

Mr. Schiefer: I can't see a 38 percent grade, I don't like a 28 percent grade. I think it would be a good idea if we set a maximum grade.

Mr. Walczak: I think a 10 percent grade is your town specs, you are probably developing private road specs. Is there an increased grade?

Mr. Scheible: Same thing.

Mr. Walczak: Sixteen percent grade is not bad but if you want to limit grade we can put a note on there limiting the amount of grade.

Mr. Schiefer: Anyone else have any comments on how steep it can be?

Mr. Scheible: Maximum is 18 or 20 percent. Even that is steep. I am not sure.

Mr. Rones: It should be set out so he doesn't do something and come back for final and you have an hour long discussion that his grades are too steep.

Mr. Scheible: Run from your experience for comfortable driveways.

Mr. Lander: Sixteen percent is a lot.

Mr. Scheible: It all depends on the length of the driveway too.

Mr. Lander: But still you are talking 20 foot rise.

Mr. Scheible: This side of the table seems to like to keep the maximum at 15 or 16 percent level. How do you figure this would be, 15 or 16?

Mr. Lander: I would think that would be the most.

Mr. Reynolds: What does the fire department think of this?

Mr. Scheible: They are not going to give me any data on a driveway. They just say approved it.

Mr. Walczak: I have a general consensus of the 16 percent.



Mr. Scheible: Does everyone agree with the 16 percent?

Mr. Reynolds: No higher than that.

Mr. Lander: That is the maximum.

Mr. Jones: That is the maximum.

Mr. Wziczak: Ok, thank you.

#### REVIEW

#### CENTRAL GATE SITE PLAN (87-58)

Mr. Paul Cuomo came before the Board representing this proposal. He introduced Mr. Jamal Motran, part owner of the premises.

Mr. Cuomo: This is an existing structure, I think if you think the photograph is kind of hard it is really, it is the building in the vicinity across from Purple Palor car wash on Route 94.

Mr. Mc Carville: Are you remodeling now?

Mr. Cuomo: What they want to do is remodel and lenghten the porch.

Mr. Schiefer: That is all you are doing?

Mr. Cuomo: No, he has a picture.

Mr. Motran: We are just planning to make it long like this just extend the porch and go all the way, the porch is existing up to here just go with it all the way up around it. The existing porch is up to here we are planning to enclose it and continue it.

Mr. Scheible: Do you intend on using this for stores?

Mr. Motran: No it is going to be an office. Our office is a passage in here it is just a straight passage and the existing thing we want to extend it on the side. We have about three hundred feet to the back all the way.

Mr. Schiefer: You probably have enough side yard clearance but by extending it back I believe it requires 15.

Mr. Cuomo: Yes I think you are right.

Mr. Schiefer: So we'd need a deviation there.

Mr. Motran: This is going to be taken off here.

Mr. Schiefer: This has to be a minimum of 15 or go to the Zoning Board and see if you can convince them.

Mr. Mc Carville: I think you'd do better by cutting the porch.

Benedict Pond Estates  
Storm Drainage Runoff Analysis

The following summarizes an engineering analysis made to determine the increase in the instantaneous peak rate of storm drainage runoff that will be a result of the development of this property.

This analysis compares the conditions presently existing at the site with those anticipated after the site is fully developed.

I. Assumptions

The following assumptions were made to form a basis for the analysis:

Terrain - The site was divided into the following three terrain types based on steepness of slopes:

- Rolling (0% to 8% slopes) - 6.46 Acres
- Sloping (8% to 12% slopes) - 3.58 Acres
- Steep (greater than 12% slopes) - 2.49 Acres

Impervious Surfaces - Driveways were assumed to be paved; their areas are as depicted on the preliminary plan and were assumed to have a width of 12 feet (total area = 0.65 Acres).

All residences were assumed to have a floor plan area of 2,000 square feet each (total area - 0.60 Acres).

The total area of the impervious roof and driveway areas is 1.25 Acres.

Runoff Coefficients - The following lists the coefficients used to determine the peak rate of storm drainage runoff by use of the Rational Method:

<u>Surface Type</u>	<u>"C" Factor</u>
- Existing rolling terrain (70% timber)	0.25
- Existing sloping terrain (with cultivation)	0.30
- Existing steep terrain (with meadow)	0.35

- Proposed rolling terrain lawn areas	0.35
- Proposed rolling terrain unimproved	0.30
- Proposed sloping terrain lawn areas	0.35
- Proposed steep terrain lawn areas	0.40
- Proposed impervious areas (roofs and drives)	0.95

## II. Analysis Method

The Rational Method to determine the instantaneous peak storm drainage runoff was used as is a common engineering practice for an analysis of this type for areas less than 100 Acres. The formula applied using the Rational Method is:

$$Q = C I A$$

where Q is the instantaneous peak storm drainage runoff rate, in cubic feet per second,

C is the runoff coefficient which is assigned to a surface type and slope, generally indicating the surfaces' degree of imperviousness and overland flow velocity,

I is the design rainfall intensity, in inches per hour (a 2 inch per hour design rainfall was used in the calculations, which, for this area, approximate a storm return frequency in excess of 10 years), and

A is the area of the site, in Acres.

## III. Results

### A. Existing Conditions (unimproved) runoff rate calculations:

$$Q \text{ rolling} + Q \text{ sloping} + Q \text{ steep} = \text{Total Existing } Q$$

$$Q \text{ rolling} = CIA = (0.25) (2) 6.46 = 3.23 \text{ c.f.s.}$$

$$Q \text{ rolling} = CIA = (0.30) (2) 3.58 = 2.15 \text{ c.f.s.}$$

$$Q \text{ step} = CIA = (0.35) (2) 2.49 = 1.74 \text{ c.f.s.}$$

$$Q \text{ Total Existing} = 3.23 + 2.15 + 1.74 = \underline{7.12 \text{ c.f.s.}}$$

### B. Proposed Conditions (improved) runoff rate calculations:

$$Q \text{ rolling} + Q \text{ sloping} + Q \text{ steep} = \text{Total Proposed } Q$$

Q rolling (assumes 50% improved lawns) = CIA

$$= (0.35) (2) 3.23 + (0.95) (2) 0.23 \\ \text{[roof]} + (0.95) (2) 0.32 \text{ [drive]} + \\ (0.30) (2) 2.68$$

$$= 4.92 \text{ c.f.s.}$$

$$\text{Q sloping} = \text{CIA} = (0.35) (2) 3.33 + (0.95) (2) \\ 0.16 \text{ [roof]} + (0.95) (2) 0.09 \text{ [drive]} \\ = 2.80 \text{ c.f.s.}$$

$$\text{Q steep} = \text{CIA} = (0.40) (2) 2.04 + (0.95) (2) \\ 0.21 \text{ [roof]} + (0.95) (2) 0.24 \text{ [drive]} \\ = 2.49 \text{ c.f.s.}$$

$$\text{Q Total Proposed} = 4.92 + 2.80 + 2.49 = 10.21 \text{ c.f.s.}$$

#### C. Increase in Runoff Rate

$$\text{Runoff rate increase} = \text{Q proposed} - \text{Q existing}$$

$$= 10.21 - 7.12$$

$$= \underline{3.09 \text{ c.f.s.}}$$

#### IV. Conclusions and Recommendations

The peak instantaneous storm drainage runoff rate will increase 3.09 c.f.s. by analysis using the Rational Method as a result of the improvements proposed for this project. This increase in runoff rate is the result of 10 percent of the land area being converted from vacant land to impervious surfaces (roofs and paved driveways) and the improvement of the property's open areas to lawns.

To accommodate this increase, roadway ditches will be cleaned and widened to provide the needed additional flow capacity and storage capability.

Additionally, driveways will be crowned to distribute the surface drainage and eliminate channelizing surface flows to perimeter roadways. This distribution method will provide for added percolation into the soil thereby retarding the runoff rate and quantity entering the perimeter roadway ditches.

Another mitigation measure employed will be preserving the existing trees on the property. Deed restrictions on some of the lots allow for controlled clearing of the trees within defined building and yard areas.

BENEDICT POND ESTATES

SUBDIVISION

LEGAL DESCRIPTION OF PORTION OF MT. AIRY ROAD  
TO BE DEDICATED TO THE TOWN OF NEW WINDSOR FOR PUBLIC  
HIGHWAY PURPOSES

All that certain plot, piece or parcel of land, situate,  
lying and being in the Town of New Windsor, County of  
Orange and State of New York, and being more particularly  
bounded and described as follows:

Beginning at a point, being the intersection of the  
centerline of Mount Airy Road with the westerly bounds of  
Dean Hill Road;

Thence from said Place of Beginning and along the westerly  
bounds of Dean Hill Road; S35°-01'-40"E, 76.66 feet to the  
northeasterlymost corner of Lot #7 of the Benedict Pond  
Estates Subdivision; thence along the aforementioned Lot #7  
the following three (3) courses: N87°-18'-07"W, 53.48 feet;  
S29°-37'-55"W, 245.97 feet and S28°-12'-05"W, 43.27 feet to  
a point on the northerly boundary of the lands of the New

York Telephone Company; thence along the lands of the New York Telephone Company the following three (3) courses: N62°-52'-30"W, 0.89 feet; S27°-18'-40"W, 150.07 feet and S62°-48'-50"E, 5.59 feet to the northwesterlymost corner of Lot #6 of the Benedict Pond Estates Subdivision; thence along the lands of the Benedict Pond Estates Subdivision the following eight (8) courses:

S21°-18'-20"W, 31.59 feet;  
S10°-46'-20"W, 80.00 feet;  
S05°-45'-45"W, 79.65 feet;  
S01°-00'-55"W, 82.72 feet;  
S04°-20'-30"E, 88.68 feet;  
S07°-19'-20"E, 191.07 feet;  
S06°-07'-10"E, 145.45 feet and  
S04°-09'-40"E, 87.36 feet to a point on the northerly line of the lands of Vernon H. & Florence Smith (N/F); thence along the line S72°-10'-34", 25.32 feet to a point in the centerline of Mount Airy Road; thence along the centerline of Mount Airy Road, the following ten (10) courses:

N04°-09'-40"W, 93.01 feet;  
N06°-07'-10"W, 144.76 feet;  
N07°-19'-20"W, 192.07 feet;  
N04°-20'-30"W, 90.50 feet;  
N01°-00'-55"E, 84.93 feet;

N05°-45'-45"E, 81.78 feet;

N10°-46'-20"E, 84.82 feet;

N21°-18'-20"E, 93.80 feet;

N28°-12'-05"E, 137.03 feet and

N29°-37'-55"E, 308.12 feet to the Place of Beginning.

Containing 0.75 acres of land, more or less.

FEB 17 1988

**New York State Department of Environmental Conservation**  
202 Mamaroneck Avenue, White Plains, New York 10601

February 16, 1988



**Thomas C. Jorling**  
Commissioner

Mr. Charles P. Walzcak, P.E.  
Clark Engineers  
259 Route 17K  
Newburgh, New York 12550

Re: Approval of Plans and Specifications for  
Sanitary Sewer Extension to Serve  
Benedict Pond Estates Subdivision (13 Lot)  
Town of New Windsor; Orange County

Dear Mr. Walzcak:

This is to advise you that the plans and specifications for the above referenced project are being approved by this Department. This project consists of 1440 lineal feet of eight inch PVC gravity sewer pipe and five sewer sanitary manholes. The Town of New Windsor Sewage Treatment Plant was found to have adequate capacity to handle this project.

By initiating the construction of the said project covered by the approval of the plans and specifications, the applicant accepts and agrees to abide by and conform with the following:

- (1) This approval is issued pursuant to SPDES Permit No. NY-0022446.
- (2) That this approval letter shall be maintained on file by the applicant.
- (3) That the approval is revocable or subject to modification or change pursuant to Article 17 of the Environmental Conservation Law.
- (4) That any and all construction undertaken by the terms of the approval of plans shall be completely and wholly at the risk of the applicant.
- (5) That the facilities shall be fully constructed and completed in compliance with plans as approved on February 16, 1988.
- (6) That this office is to be notified when construction commences.



Mr. Walzcak  
Page 2  
February 16, 1988

- (7) That the engineer will forward the results of the leakage tests of the completed work to this Department.
- (8) That the professional engineer supervising such construction shall certify to this Department in writing and to the applicant that the constructed facilities have been under his supervision and that the works have been fully completed in accordance with the engineering report and the plans.
- (9) That the leakage outward or the infiltration inward of the constructed sewer line shall not exceed 200 gallons per inch of pipe diameter per mile per day for any section of the sewer system between manholes and including manholes.
- (10) The approved project must be completed within five (5) years of the approval date at which time the approval will expire.

Enclosed please find one copy of the approved plans and the engineering report. Also, one copy of the approved plans is being sent to the Orange County Health Department.

Very truly yours,

  
Cesare J. Manfredi P.E.  
Principal Sanitary Engineer

CJM:LM:bz  
Enclosure

cc: Orange County Health Department w/plans  
Supervisor and Planning Board, Town of New Windsor

## APPLICATION FOR APPROVAL OF PLANS FOR A WASTEWATER DISPOSAL SYSTEM

1. NAME OF APPLICANT Omat, Inc.		2. LOCATION OF WORKS (City, Village, Town) Town of New Windsor		3. COUNTY Orange	
4. ENTITY OR AREA SERVED Benedict Pond Subdivision		5. TYPE OF OWNERSHIP <input checked="" type="checkbox"/> Municipal <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Sewage Works Corp. <input type="checkbox"/> Private - Home <input type="checkbox"/> Private - Other <input type="checkbox"/> Private - Institutional <input type="checkbox"/> Board of Education <input type="checkbox"/> Authority <input type="checkbox"/> Federal <input type="checkbox"/> State <input type="checkbox"/> Interstate <input type="checkbox"/> International <input type="checkbox"/> Indian Reservation			
6. TYPE AND NATURE OF CONSTRUCTION Collection System <input type="checkbox"/> New <input checked="" type="checkbox"/> Additions or Alterations		Treatment and/or Disposal <input type="checkbox"/> New N/A <input type="checkbox"/> Additions or Alterations		7. ESTIMATED COST OF CONSTRUCTION Collection System \$70,000 + Treatment and/or Disposal To Municipal Plant	
8. TYPE OF WASTE <input checked="" type="checkbox"/> Sewage <input type="checkbox"/> Industrial (Specify) _____ <input type="checkbox"/> Other (Specify) _____					
9. NAME OF RECEIVING TREATMENT WORKS Town of New Windsor STP		10. POINT OF DISCHARGE Surface Water: (Name of Watercourse) Moodna Creek Class C Ground Water: (Name of Watercourse to which ground water is tributary) N/A Class N/A			
11. IS STATE OR FEDERAL AID APPLIED FOR? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Give Project No. _____		LOCATION (City, Village, Town) New Windsor		TYPE OF PERMIT <input type="checkbox"/> NPDES <input checked="" type="checkbox"/> SPDES	
12. NAME OF DESIGN ENGINEER Charles P. Walczak, P.E. (Clark Engineers, P.C.)		PERMIT NO. 002446		DATE ISSUED 8-1-82	
ADDRESS 259 Route 17K, Newburgh, NY 12550		TELEPHONE NO. 914-564-8700			
13. WATER CONSUMPTION (GPD) Present 0		Future 4000 GPD +		Design Year 1990	
14. POPULATION SERVED Present 0		Future 50 +		Design Year 1990	
15. AVERAGE DAILY FLOW FOR NEW OR EXISTING TREATMENT WORKS (GPD) Present 0		Future 4000 GPD +		Design Year 1990	
16. SOURCE OF WATER SUPPLY (If private well; give location, type, depth and character of soil) Private Well for each lot - see plan for proposed locations				17. DESIGN EQUIVALENT POPULATION (BOD Basis) 200 PPM Design Flow 5,000,000 GPD Design Plant Efficiency 85 %	
18. GIVE NUMBER, CHARACTER AND DISTANCE OF ANY BUILDINGS WHICH MAY BE AFFECTED BY THE PROPOSED TREATMENT WORKS N/A				19. DESCRIBE PROPOSED OR EXISTING STORM WATER DISPOSAL Sheet drainage to existing road-side ditches to existing roadway cross-culverts.	
20. ADDITIONAL INFORMATION MUST BE SUBMITTED FOR PRIVATE AND INSTITUTIONAL SYSTEMS.					
21. INDICATE OF U.S.G.S. TOPOGRAPHIC MAP EXACT LOCATION OF SEWAGE TREATMENT WORKS AND ADJACENT BUILDINGS. SHOW LOCATION OF ALL WELLS OR OTHER SOURCES OF WATER SUPPLY WITHIN 200' OF THE PROPOSED WORKS. GIVE DESCRIPTION OF THESE SOURCES AND CHARACTER OF SOIL. USGS - Cornwall Quadrangle, off Caesar's Lane near U.S. Rte 9W					
22. STATE DEPTH BELOW EXISTING GROUND SURFACE AT WHICH GROUND WATER IS ENCOUNTERED 1.5 to 5.0 feet at subdivision site		23. DESCRIBE SOIL AT SITE OF PROPOSED WORKS. GIVE DESIGN BASIS AND OBSERVED SOIL PERCOLATION RATE DATA (Use additional sheet, if necessary) N/A			

**NOTE:** All applications must be accompanied by plans, specifications and completed Form BSP-65 (appropriate portions). The submission must conform to a previously approved engineering report describing the system in detail. The plans must be stamped with the designing engineer's seal and must be of sufficient clarity and eligibility to permit satisfactory microfilming. Only white prints will be accepted because of the difficulty of microfilming blue prints. There must be a blank area, at least 4" x 7", in the lower right corner of each sheet so that the approval stamp may be placed on the face of the plans.

Any deviation from the Department's standards for wastewater collection and treatment facilities must be explained in detail.

Approved plans are to be returned to: ☐ Applicant ☒ Engineer

If the application is signed by a person other than the applicant shown in Item 1, the application must be accompanied by a letter of authorization. Failure to comply with this provision may be grounds for the rejection of any submission.

I hereby affirm under penalty of perjury that information provided on this form is true to the best of my knowledge and belief. False statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law.

Signatures and Official Titles:

George A. Green  
SUPERVISOR TOWN OF NEW WINDSOR

Mailing Address: TOWN OF NEW WINDSOR

555 UNION AVE. New Windsor, NY 12550

Date of Application: JANUARY 21, 1988

REMARKS:



# TOWN OF NEW WINDSOR

555 UNION AVENUE  
NEW WINDSOR, NEW YORK

November 18, 1987

*PERMISSION TO TIE INTO TOWN SYSTEM*

1763  
Mirro & Johnson  
176 Main Street  
Goshen, N. Y. 10924

Attn: Donald W. Mirro, Esq.

RE: BENEDICT POND ESTATES SUBDIVISION  
MT. AIRY ROAD AREA

Dear Don:

→ Your letter of October 26, 1987 was reviewed by the Town Board. The Town is agreeable to allow your client's property to hook into the existing sewer system by a plan that is prepared by your engineer. This would anticipate installation of a line back to the town's pump station. It is also assumed that all future development on the former Benedict parcel would be hooked into the sanitary sewer system.

I also reviewed your oral request to me that your client's property be included in the water district.

Would you kindly forward a letter to the town requesting to be included in proposed Water District #8 when it is formed. The town is in the process of forming the metes and bounds description of Water District #8 and your letter will give authority to the town to include the Benedict property.

I would recommend that all of your engineering plans be referred to Richard McGoey, P. E., Engineer for Town, 555 Union Avenue, New Windsor, N. Y. 12550, for review and coordination with the town's municipal facilities.

Very truly yours,

*J. Tad Seaman* MB  
MC GUIRK, LEVINSON, ZECCOLA  
SEAMAN, REINEKE & ORNSTEIN P.C.  
By: J. Tad Seaman

JTS/PAB

cc: Engineer for Town McGoey

*Sewer District  
Approved*

MIRRO & JOHNSON  
ATTORNEYS AT LAW

DONALD W. MIRRO  
KENNETH D. JOHNSON

MATTHEW T. BENNETT  
ROBERT F. MCMANUS

ONE SEVENTY-SIX MAIN STREET  
GOSHEN, NEW YORK 10924

TELEPHONE 294-5401  
AREA CODE 914

October 26, 1987

Mr. John A. Petro, Supervisor  
Town of New Windsor  
555 Union Avenue  
New Windsor, New York 12550

RE: Benedict Pond Estates Subdivision  
Tax Designation: Section 65, Block 1, Lot 50.2  
Premises: Corner of Mt. Airy Road and Hill Road

Dear Mr. Petro:

This is to inform you that our office represents Mr. Michael Petrone who has submitted an application for subdivision approval of his property located at the corner of Mt. Airy Road and Hill Road. I have enclosed herewith a copy of the thirteen (13) lot subdivision for your file.

The Planning Board Engineer, Mr. Mark J. Edsall, in his review of the project, dated October 14, 1987, has requested that Mr. Petrone obtain verification from the Town Board that his property is located within the Sewer District, and, if so, he must obtain approval of the Town Board for the inclusion of this development into the system.

The existing sewer line does adjoin Mr. Petrone's property as so indicated on the enclosed map.

I hereby request on behalf of my client, approval by the Town Board for the inclusion and extension of the Benedict Pond Estates Subdivision into the existing Sewer District.

MIRRO & JOHNSON  
ATTORNEYS AT LAW

Thank you for your time and immediate attention in this matter.

Very truly yours,



Donald W. Mirro

DWM:vr

Enclosure

cc: Joseph P. Rones, Esq.  
436 Route 9W  
Newburgh, New York 12550

Tad J. Seaman, Esq.  
542 Union Avenue  
New Windsor, New York 12550

Mark J. Edsall, P.E.  
McGoey & Hauser  
45 Quassaick Avenue  
New Windsor, New York 12550

Charles P. Walczak, P.E. (By Fax No. 564-8881)  
Clark Engineers  
259 Route 17K  
Newburgh, New York 12550

Mr. Michael Petrone  
West Mombasha Road  
Monroe, New York 10950

NOV 23 1987

MIRRO & JOHNSON  
ATTORNEYS AT LAW

DONALD W. MIRRO  
KENNETH D. JOHNSON  
MATTHEW T. BENNETT  
ROBERT F. McMANUS

ONE SEVENTY-SIX MAIN STREET  
GOSHEN, NEW YORK 10924

TELEPHONE 294-5401  
AREA CODE 914

November 20, 1987

Charles P. Walczak, P.E.  
Clark Engineers  
259 Route 17K  
Newburgh, New York 12550

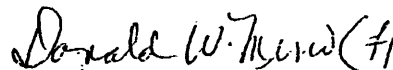
RE: Benedict Pond Estates

Dear Charles:

I enclose herewith a letter from the Town of New Windsor concerning the approval for the sewer hookup into the Town System. I would suggest that we also provide for the hook-up of the balance of Mr. Petrone's property by providing a sewer line large enough to handle any additional construction. The Town Engineer should be requested to include on the Sewer Map the balance of our clients land.

If there are any further questions please feel free to contact this office.

Very truly yours,



DONALD W. MIRRO

DWM/ft  
Encl:  
cc: Mr. Michael Petrone



# TOWN OF NEW WINDSOR

555 UNION AVENUE  
NEW WINDSOR, NEW YORK

November 18, 1987

1763  
Mirro & Johnson  
176 Main Street  
Goshen, N. Y. 10924

Attn: Donald W. Mirro, Esq.

RE: BENEDICT POND ESTATES SUBDIVISION  
MT. AIRY ROAD AREA

Dear Don:

Your letter of October 26, 1987 was reviewed by the Town Board. The Town is agreeable to allow your client's property to hook into the existing sewer system by a plan that is prepared by your engineer. This would anticipate installation of a line back to the town's pump station. It is also assumed that all future development on the former Benedict parcel would be hooked into the sanitary sewer system.

I also reviewed your oral request to me that your client's property be included in the water district.

Would you kindly forward a letter to the town requesting to be included in proposed Water District #8 when it is formed. The town is in the process of forming the metes and bounds description of Water District #8 and your letter will give authority to the town to include the Benedict property.

I would recommend that all of your engineering plans be referred to Richard McGoey, P. E., Engineer for Town, 555 Union Avenue, New Windsor, N. Y. 12550, for review and coordination with the town's municipal facilities.

Very truly yours,

*J. Tad Seaman* <sup>PAB</sup>

MC GUIRK, LEVINSON, ZECCOLA  
SEAMAN, REINEKE & ORNSTEIN P.C.  
By: J. Tad Seaman

JTS/PAB

cc: Engineer for Town McGoey



BUILDING INSPECTOR, P.D. ENGINEER, FIRE INSPECTOR, D.O.T. O.C.H. O.C.P.  
WATER, SEWER, HIGHWAY REVIEW FORM: D. P. W.

The maps and plans for the Site Approval \_\_\_\_\_  
Subdivision \_\_\_\_\_ on submitted by  
\_\_\_\_\_ for the building or subdivision of  
Broedick Road & Wm & Dolan Diemer has been  
reviewed by me and is approved ☒  
disapproved ☐.

If disapproved, please list reason.

There is no town water in these areas as  
yet -

HIGHWAY SUPERINTENDENT

John D. D.  
WATER SUPERINTENDENT

SANITARY SUPERINTENDENT

DATE \_\_\_\_\_

88-49  
Diemer

INTER-OFFICE CORRESPONDENCE

86-82

TO: Town Planning Board

FROM: Town Fire Inspector

DATE: 24 August 1988

SUBJECT: Benedict Park Estate

Planning Board Reference Number: Not supplied

Fire Prevention Reference Number: 88-75

A review of the above referenced subject site plan/subdivision was conducted on 24 August 1988.

This site plan/subdivision is found acceptable.



Robert F. Rodgers; CCA  
Fire Inspector

August 12, 1988

Omat, Inc.  
RD#1, Box 673D  
Monroe, NY 10950

Re:  
Approval of plans for  
Benedict Pond Estates  
Realty Subdivision  
T. New Windsor

Gentlemen :

Plans entitled Benedict Pond Estates prepared by Clark Engineers, P.C., and dated November 1987, latest revision August 1988 are approved.

Our Certificate of Approval is enclosed. The approved plans are being returned to the engineer for transmittal to you.

Very truly yours,

  
M.J. Schleifer, P.E.  
Assistant Commissioner

MJS/aje

cc: Engineer  
O.C. Planning Dept.  
File

enc.

**ORANGE COUNTY DEPARTMENT OF HEALTH  
Division of Environmental Health**

**CERTIFICATE OF APPROVAL OF REALTY SUBDIVISION PLANS**

**TO:** Omat, Inc.  
RD#1, Box 673D  
Monroe, NY 10950

The Orange County Department of Health certifies that a realty subdivision map entitled Benedict Pond Estates dated November 1987, latest revision August 1988 located in the Town of New Windsor showing plans for providing satisfactory and adequate water supply and sewage facilities for said subdivision have been filed with and approved by the Department on this date pursuant to Article II of the Public Health Law.

The following information was furnished in the application for approval of plans:

Total area: 13.9 acres

Number of lots: 13

Water supply: Individual wells

Sewage disposal: Gravity sewers to existing New Windsor Pump Station

The owner intends to build houses on some lots and sell others without buildings.

Approval of the proposed water supply and sewage facilities is granted subject to the following conditions:

1. THAT the proposed facilities are installed in conformity with said plans.
2. THAT no lot shall be subdivided without plans for such resubdivision being filed with and approved by the Orange County Department of Health.
3. THAT the purchaser of a lot sold without water supply and/or sewage disposal facilities installed thereon will be furnished with a reproduction of the approved plans and shall be notified of the necessity of installing such facilities in accordance with the approved plans.

August 12, 1988  
Date

  
M.J. Schleifer, P.E.  
Assistant Commissioner

TOWN OF NEW WINDSOR PLANNING BOARD  
TRACKING SHEET

PROJECT NAME: Benedict Pond Estates

PROJECT NO.: 86-82

TYPE OF PROJECT: Subdivision ☒ Site Plan \_\_\_\_\_  
Lot Line Change \_\_\_\_\_ Other (Describe) \_\_\_\_\_

<u>TOWN DEPARTMENT REVIEWS:</u>	<u>Date</u> <u>App'd</u>	<u>Date</u> <u>Not App'd</u>	<u>Not</u> <u>Required</u>
Planning Board Engineer	_____	_____	_____
Highway	_____	_____	_____
Bu. Fire Prev.	_____	_____	_____
Sewer	_____	_____	_____
Water	_____	_____	_____
Flood	_____	_____	_____

OUTSIDE DEPT./AGENCY REVIEWS:

DOT	2/1/88	10/87	_____
DEC	_____	_____	_____
O/C PLANNING	7-23-87	_____	_____
O/C HEALTH	_____	✓ 12/2/87	_____
NYS DOH	_____	_____	_____
OTHER (SPECIFY)	_____	_____	_____
PLANNING	10/30/87	_____	_____

SEOR: Lead Agency Action \_\_\_\_\_  
Determination \_\_\_\_\_  
EAF Short \_\_\_\_\_ Long \_\_\_\_\_ Submitted \_\_\_\_\_ Accepted \_\_\_\_\_  
Proxy: Filed \_\_\_\_\_ Representative \_\_\_\_\_

PUBLIC HEARING: Held (DATE) \_\_\_\_\_ Waived\* \_\_\_\_\_  
Other \_\_\_\_\_  
(\* Minor Subdivision and Site Plans only.)

TIME SEQUENCING:  
(SUBDIVISIONS)

Sketch Plan Date	_____	+ 30 days = Action Date	_____
Preliminary P/H Date	_____	+ 45 days = Action Date	_____
Preliminary App'l Date	_____	+ 6 months = Final Resub. Date	_____
Final Plan Date	_____	+ 45 days = Final App'l Date	_____

TIME SEQUENCING:  
(SITE PLANS)

Presubmission Conf. Date	_____	+ 6 months = Submittal Date	_____
First Meeting Date	_____	+ 90 days = Final App'l Date	_____

86-82

BUILDING INSPECTOR, P.B. ENGINEER, FIRE INSPECTOR, ~~D. P. W.~~ O.C.H. O.C.P.  
WATER, SEWER, HIGHWAY REVIEW FORM:  
D. P. W.

The maps and plans for the Site Approval \_\_\_\_\_  
Subdivision Bears Lick Pond Site as submitted by \_\_\_\_\_  
\_\_\_\_\_ for the building or subdivision of \_\_\_\_\_  
\_\_\_\_\_ has been  
reviewed by me and is approved \_\_\_\_\_,  
disapproved \_\_\_\_\_.

If disapproved, please list reason.

*Does Not Effect M.Y.S.D.O.T.*

Dr. Moore

M.Y.S.D.O.T.

\_\_\_\_\_  
HIGHWAY SUPERINTENDENT

\_\_\_\_\_  
WATER SUPERINTENDENT

\_\_\_\_\_  
SANITARY SUPERINTENDENT

2-1-88

\_\_\_\_\_  
DATE



86-82

COUNTY OF ORANGE  
LOUIS HEIMBACH, COUNTY EXECUTIVE

Department of Public Works

ROUTE 17-M P.O. BOX 509  
GOSHEN, NEW YORK 10924  
TEL: Office 294-7951 - Garage 294-9115

LOUIS J. CASCINO, P.E.  
Commissioner

October 30, 1987

Mr. Henry Schieble, Chairman  
Town of New Windsor Planning Board  
555 Union Avenue  
New Windsor, New York 12550

Re: Grove Farms, Inc.  
Benedict Pond Estates  
Mt. Ellis Paper Company  
Bond Street Farm LTD.

Dear Mr. Schieble:

With reference to the above mentioned subdivisions, we have reviewed the sketch and inasmuch as it does not effect the County Road System, we have no comment. However, we will retain the maps for future reference.

Very truly yours,

Robert W. Gilson  
Division of Engineering

RWS/sjn

12-9-67

• Mr. Charles Walczak came before the Board representing this proposal.

Mr. Walczak: We are here this evening after all corrections have been made to this Benedict Pond Subdivision I say corrections that being we have addressed all the issues brought up by the engineer's comments from last time. I expect that there will probably be a new list this evening. We have addressed every issue. One of the issues was the service of the sewers. We have a letter from the Town of New Windsor indicating that this particular subdivision is going to be allowed into the sewer district. It is presently not within the boundary of the sewer district which is sewer district 19. Sewer district 19 goes around the periphery of this piece but we have a letter from the Town saying that they approve the connection of this subdivision into the sewer district. That was one of the main problems we were having with this thing and that has been solved all of the other comments have been addressed and I ask for your additional comments this evening. We are looking for this evening is preliminary approval and a declaration on SEQR.

Mr. Schiefer: What are your comments on the drainage Mark?

Mr. Edsall: The drainage basically has been addressed by Charlie and at this point I feel comfortable that the final details as far as any improvements in culverts can be straightened out between preliminary and final approval. I just haven't had at this point time to get together with Charlie and go out and look at the culvert and review them but we can solve that. He's got a long lead time to go to the County.

Mr. Schiefer: I have heard the same comments from people who have looked at it.

Mr. Edsall: You still have to find the ability to hold up final approval until it is completely solved. He has addressed it by giving me calculations.

Mr. Scheible: Are you familiar with the letter that the Town sent to Mr. Walczak Mark?



Mr. Edsall: Not at this point.

Mr. Jones: This Board isn't either. I am not.

Mr. Edsall: Do you have a copy of the letter from the Town's attorney?

Mr. Walczak: That was with the package that I gave you.

Mr. Edsall: If the Board will continue I will look at the package.

Mr. Walczak: When I submitted the plans over a week and a half ago for this meeting the entire package was submitted at that time. This letter that you are reading from the Town of New Windsor regarding the sewers was in the package with some other papers.

Mr. Edsall: We were inadvertently not copies.

Mr. Scheible: This is regarding Benedict Pond Estates from J. Tad Seaman. The Town is agreeable to allow your client's property to hook into the existing sewer system by a bond that is prepared by your engineer. The letter is dated November 19, 1987 to the attention of Donald Mirro.

Mr. Jones: That is taken care of the sanitary sewer. What are we going about the sewer.

Mr. Scheible: What sewer?

Mr. Jones: Storm water drainage.

Mr. Scheible: Mark feels comfortable with it now.

Mr. Jones: I think it should be on the map and it's got to be there when you get through with it.

Mr. Scheible: He still has to come back for final.

Mr. Jones: He better be well aware I am going to be after him for that reason.

Mr. Walczak: If I can clarify for you. There are three cross drains, one on Mt. Airy Road and one at the intersection of Dean Hill and Mt. Airy. One is in this direction here by the corner which collects, the water goes in front of the telephone building which has a cross drain which collects here it is a low point and runs in this direction and there is one up in this area which water drains in off Mt. Airy Road.

Mr. Jones: You don't show them on the map.

Mr. Walczak: They will be shown but they are not there and believe me they will be there for final approval.

Mr. Jones: They better be.

Mr. Mc Carville: I'd like to make a motion that the Planning Board declare a negative declaration in relation to the SEQR process as it pertains to the

Mr. Schiefer: I will second that.

MR. MC CARVILLE	AYE
MR. SCHIEFER	AYE
MR. LANDER	AYE
MR. REYNS	AYE
MR. JONES	AYE
MR. SCHEIBLE	AYE

Mr. Mc Carville: I make a motion we give preliminary approval to the plans of Benedict Pond Estates Subdivision.

Mr. Schiefer: I will second that.

MR. MC CARVILLE	AYE
MR. SCHIEFER	AYE
MR. LANDER	AYE
MR. REYNS	AYE
MR. JONES	NAY
MR. SCHEIBLE	AYE

Mr. Walczak: Before I leave I'd like to know if the Board at this time has any comments based on the engineer's evaluation at this time in order to avoid any problems in the future. I have a copy of this but there is a lot there left up to the Board I was wondering if you had any comments on his comments.

Mr. Edsall: The only comment I have passed on that I am looking for input is the driveways I can explain it somewhat. I had been concerned on previous submittals at the location of the house as shown and assuming that the residents would want their drives to go to the houses a lot of the drives went to 40 percent and 30 and down to a normal percentage in areas if you averaged it it wasn't that we are not looking for a mining operation to grade the whole site we are trying to keep the grades reasonable. Charlie demonstrated by relocating the houses towards the roads the drives could be brought down to 16. What I am looking for from the Board is obviously if you want to restrict the slopes the submittal should show the locations of the houses suitable for the driveways you want. I don't know what kind of drives the Board would prefer. We had some concerns from the superintendent of highways about the visibility on the road so my recommendation is you wouldn't want very steep drives on those roads. That is questionable you may want to restrict so that he can work his submittals based on that.

Mr. Walczak: I drew a sketch on this and submitted it because this is the worse case the greatest drive elevation between the road and house location if the house were located as shown up here we are looking at cross section at the worse case you'd have a 20 percent grade from the road to the house. If the house were located lower on the lot and I picked arbitrary point somewhere here you can see you can get a 16 percent grade off the drive to the house. I disagree with your engineer's comment about 40 percent grade because there is nowhere does there exist a 40 percent grade.

Mr. Edsall: The driveway on lot six goes up to 38 percent.

Mr. Rones: What if you zig zaged.

Mr. Walczak: That is a possibility too we are showing straight drives, they can certainly be that as you know we had combined drives then. Now we separated the drives so again so that we don't have a problem when we come in I'd like to hear some comments.

Mr. Mc Carville: I'd like to see the grades indicated on the final plans for the drives if that is not a problem.

Mr. Walczak: You'd like to see a percentage grade as shown?

Mr. Mc Carville: Yes.

Mr. Rones: Doesn't the Board want to minimize, you are telling him to zig zag or do whatever he wants to do.

Mr. Schiefer: I can't see a 38 percent grade, I don't like a 28 percent grade. I think it would be a good idea if we set a maximum grade.

Mr. Walczak: I think a 10 percent grade is your town specs, you are probably developing private road specs. Is there an increased grade?

Mr. Scheible: Same thing.

Mr. Walczak: Sixteen percent grade is not bad but if you want to limit grade we can put a note on there limiting the amount of grade.

Mr. Schiefer: Anyone else have any comments on how steep it can be?

Mr. Scheible: Maximum is 18 or 20 percent. Even that is steep. I am not sure.

Mr. Rones: It should be set out so he doesn't do something and come back for final and you have an hour long discussion that his grades are too steep.

Mr. Scheible: Ron from your experience for comfortable driveways.

Mr. Lander: Sixteen percent is a lot.

Mr. Scheible: It all depends on the length of the driveway too.

Mr. Lander: But still you are talking 20 foot rise.

Mr. Scheible: This side of the table seems to like to keep the maximum at 15 or 16 percent level. How do you figure this would be, 15 or 16?

Mr. Lander: I would think that would be the most.

Mr. Reynolds: What does the fire department think of this?

Mr. Scheible: They are not going to give me any data on a driveway. They just say approved it.

Mr. Walczak: I have a general consensus of the 16 percent.



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MARK J. EDSALL, P.E.  
*Associate*

Licensed in New York,  
New Jersey and Pennsylvania

TOWN OF NEW WINDSOR  
PLANNING BOARD  
REVIEW COMMENTS

PROJECT NAME: Benedict Pond Estates Subdivision  
PROJECT LOCATION: Mt. Airy Road and Dean Hill Road  
NW#: 86-82  
7 December 1987

1. The Applicant proposes a fourteen (14) lot subdivision of a 13.9 +/- acre parcel located at the intersection of Mt. Airy Road and Dean Hill Road. Various versions of the subdivision plan have previously been reviewed at the 25 February 1987, 25 March 1987, 12 August 1987, 14 October 1987 and 28 October 1987 Planning Board Meetings. The subdivision currently has Sketch Plan approval, and is seeking Preliminary Approval. Some action should be taken at this meeting, so as to comply with the subdivision regulations.

2. The following comments are made with regard to the plans as they currently are submitted, with respect to the requested preliminary approval.

- a). It is my understanding that the Owner has petitioned the Town Board for either an extension of Sewer District No. 19 or for an agreement for sanitary sewer service from same. Any documentation of a Town Board Approval of same should be submitted.
- b). The Applicant is reminded that the Application to the New York State Department of Environmental Conservation for the collection system extension must include a signature of authorization from the Town Supervisor on the Application.

TOWN OF NEW WINDSOR  
PLANNING BOARD  
REVIEW COMMENTS

PROJECT NAME: Benedict Pond Estates Subdivision  
PROJECT LOCATION: Mt. Airy Road and Dean Hill Road  
NW#: 86-82  
7 December 1987

-2-

- c). In prior reviews I indicated my concern for the slopes of certain driveways, based on the Plan as submitted. The Applicant's Engineer has submitted a "possible driveway grades" sketch in response to this concern. My review of this sketch indicates that by relocation of certain residences and site grading being performed, more reasonable driveway slopes can be obtained. I request that the Board review this matter and determine if they wish to set a maximum allowable driveway slope which can be utilized in review of the final plan.
3. On 12 August 1987, the Planning Board took Lead Agency under the SEORA review process. At this time, we should review a possible determination with regard to the significance of the project on the environment.
4. As I previously indicated on the Plan, I find the clarity of the metes and bounds on the submitted plan unacceptable. This must be corrected prior to final approval.
5. In addition to the previous comment, the following items should be resolved prior to final subdivision approval:
- a). The Plan should bare the original signature and stamp of the Licensee Surveyor.
  - b). Legal description for the dedications to the Town of New Windsor should be submitted to the Town Attorney.
  - c). The AT & T easement through Lot No. 7 should be shown on the subdivision.
6. Based on the Applicant having reached an agreement with the Town Board regarding the sewer service, I find the Plan acceptable for preliminary approval, from an Engineering Standpoint.

Respectfully submitted,

  
Mark J. Edsall, P.E.  
Planning Board Engineer

MJEnJE

**TOWN OF NEW WINDSOR  
BUREAU OF FIRE PREVENTION  
SITE PLAN REVIEW FORM**

PLANNING BOARD  
REFERENCE NUMBER: 86-82

FIRE BUREAU  
REFERENCE NUMBER: 87-99

SITE PLAN FOR: BENEDICT POND ESTATE

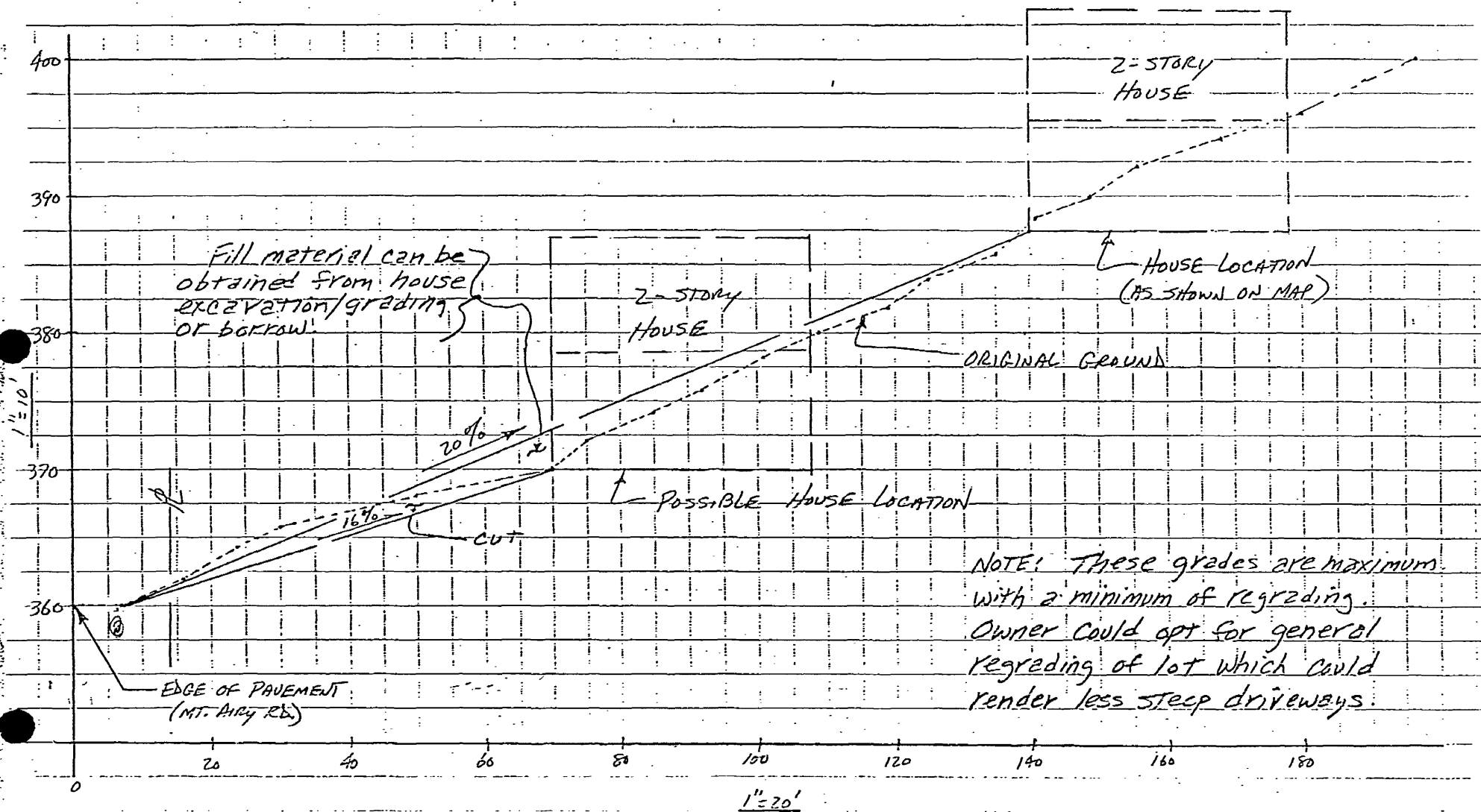
ADDRESS: Mr. Army Road, New Haven, Conn 06510.

The aforementioned site plan or map was reviewed by the BUREAU OF FIRE PREVENTION at a meeting held on 15 DECEMBER 1987.

X The site plan or map was approved by the BUREAU OF FIRE PREVENTION.

\_\_\_\_\_The site plan or map was disapproved by the BUREAU OF FIRE PREVENTION for the following reason(s).

**SIGNED:**



## POSSIBLE DRIVEWAY GRADES

-BENEDICT POND ESTATE'S SUBD.-

- LOT #1 -  
(WORST CASE SCENARIO)

By: CLARK ENGINEERS, P.C.  
CHARLES P. WALCZAK, P.E.  
10/29/87

BUILDING INSPECTOR, P.B. ENGINEER, FIRE INSPECTOR, D.O.T. O.C.H. O.C.P.  
WATER, ~~SEWER~~, HIGHWAY REVIEW FORM: D. P. W.

The maps and plans for the Site Approval \_\_\_\_\_  
Subdivision \_\_\_\_\_ as submitted by  
Clark Engineers for the building or subdivision of  
Benedict Pond Estates has been  
reviewed by me and is approved \_\_\_\_\_  
disapproved \_\_\_\_\_.

If disapproved, please list reason.

- 1) Provide for proper permits, Sanitary, etc.
- 2) Provide for infiltration or exfiltration inspection of new line before making any connections to buildings. (Air Test will be O.K.)
- 3) Provide for outside clean outs

\_\_\_\_\_  
HIGHWAY SUPERINTENDENT

\_\_\_\_\_  
WATER SUPERINTENDENT

Lynnan D. Martens  
SANITARY SUPERINTENDENT

December 2, 1987  
DATE





1763

TOWN OF NEW WINDSOR  
BUREAU OF FIRE PREVENTION  
SITE PLAN REVIEW FORM

SITE PLAN FOR: BENEDICT POND ESTATES

The aforementioned site plan or map was reviewed by the  
Bureau of Fire Prevention at a meeting held on 18

November 19 87 .

☒ The site plan or map was approved by the Bureau of Fire  
Prevention.

☐ The site plan or map was disapproved by the Bureau of  
Fire Prevention for the following reason(s).

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Signed: Stephen Winkler

Chairman

Distribution:

Original: N.W. Planning Board  
Copy: N.W. Fire Inspector  
Copy: Developer w/two plans

BUILDING INSPECTOR, P.B. ENGINEER, FIRE INSPECTOR, D.O.T. O.C.H. O.C.P.  
SEWER, HIGHWAY REVIEW FORM: D. P. W.

The maps and plans for the Site Approval \_\_\_\_\_

Subdivision \_\_\_\_\_ as submitted by \_\_\_\_\_

Clark Eng for the building or subdivision of \_\_\_\_\_

~~Heritage~~ Benedict Pond Estates has been

reviewed by me and is approved L

~~disapproved~~ \_\_\_\_\_

If disapproved, please list reason.

There is no town water feeding this area as yet.

\_\_\_\_\_  
HIGHWAY SUPERINTENDENT

Steve D. D.  
WATER SUPERINTENDENT

\_\_\_\_\_  
SANITARY SUPERINTENDENT

\_\_\_\_\_  
DATE



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MARK J. EDSALL, P.E.  
*Associate*

Licensed in New York,  
New Jersey and Pennsylvania

TOWN OF NEW WINDSOR  
PLANNING BOARD  
REVIEW COMMENTS

PROJECT NAME: Benedict Pond Estates Subdivision  
PROJECT LOCATION: Mt. Airy Road and Dean Hill Road  
NW #: 86-82  
14 October 1987

1. The applicant proposes a fourteen (14) lot subdivision of a 13.9 +/- acre parcel located at the intersection of Mt. Airy Road and Dean Hill Road. The plan has previously been reviewed at the 25 February 1987, 25 March 1987 and 12 August 1987 Planning Board Meetings. The subdivision currently has sketch plan approval.
2. The board should note that since the previous visit, the applicant has had new plans prepared at a more usable scale. For this subdivision, a total of three (3) sheets now exist. It is recommended that the subdivision plan and the "Lot Layout Plan" be combined to a single complete plan.
3. The final plan should include all metes and bounds information and should be sufficiently clear to define the points of change in bearing.
4. All future plans submitted before the board should include the original signature and stamp of the licensed surveyor, as well as the required certification for accuracy of the plat.
5. The applicant's professional should prepare the legal description for the portion to be dedicated to the Town of New Windsor along Mt. Airy Road. This description should be submitted for the Town Attorney's review prior to final approval.
6. The plan as submitted indicates that sanitary sewage collection piping will be installed to serve the project. The applicant should be required to verify that this property is located within the sewer district, and if so, obtain approval of the Town Board for extension of the collection system. The Planning Board may wish to have the Town Board's decision prior to preliminary approval.

TOWN OF NEW WINDSOR  
PLANNING BOARD  
REVIEW COMMENTS

PROJECT NAME: Benedict Pond Estates Subdivision  
PROJECT LOCATION: Mr. Airy Road and Dean Hill Road  
NW#: 86-82  
14 October 1987

Page 2

7. Upon receiving the necessary local authorizations for the extension, the extension of the collection system must be submitted to the New York State Department of Environmental Conservation for review and approval. Since the system will be dedicated to the Town of New Windsor, the Town Supervisor must sign the application.
8. The applicant may wish to re-evaluate the routing of the sewer lateral for Lot No. 13. As shown on the Lot Layout Plan, such lateral would have depths in excess of sixteen (16) feet. A routing from the indicated residence in an easterly direction between Lots 11 and 12 seems more appropriate.
9. The applicant should verify the type of sanitary system currently utilized at the Vanasco residence. If an on-site system currently exists, its location should be shown such that required spacing to the well of Lot 8 can be verified.
10. The plan indicates an overhead utility line running through Lot 7. The applicant should indicate if an easement is associated with same.
11. The Board should review the proposed driveway location configuration with respect to the comments received from the Bureau of Fire Prevention.
12. A review was made of the slopes of the driveways as shown on the submitted plan. The Board should note that the driveways for Lots 1-6 vary from a minimum of approximately 15 percent to a maximum of 38 percent, based on existing grades. This matter should be discussed, as well as the associated site distances along Mt. Airy Road at the exit of each driveway.

TOWN OF NEW WINDSOR  
PLANNING BOARD  
REVIEW COMMENTS

PROJECT NAME: Benedict Pond Estates Subdivision  
PROJECT LOCATION: Mt. Airy Road and Dean Hill Road  
NW#: 86-82  
14 October 1987

Page 3

13. The typical driveway entrance detail should include a corrugated metal pipe under the driveway, size as acceptable to the Highway Superintendent.

14. The final plan submitted should include the required approval box for Planning Board use at time of approval.

15. A review was made of the full environmental assessment form as submitted by the applicant.

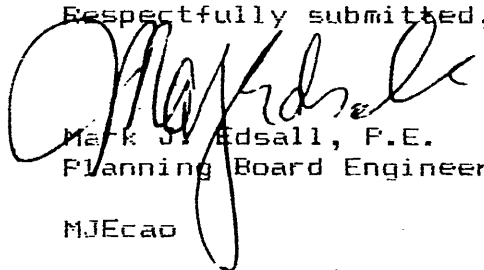
My comments are as follows:

- a. Part 1, A-2 should provide for an "after completion" breakdown of acreage which totals the total project area.
- b. The applicant indicates under Part 1, A-7 that the water-table is at 1.5 feet in some areas. It may be beneficial that the locations of such areas of high ground water be brought to the Board's attention. The Board may wish to suggest restrictions for full basements in such areas.
- c. Under Part 1, B-25, the applicant should indicate that DEC approval is required for the sewer collection system extension.
- d. Part 1, Sec. E should be completed.

16. At the time the full environmental assesment form is corrected and re-submitted, the Board can make a determination under the SEQRA Process.

17. The Board Members may wish to review the notes on the plan as well as the tree clearing restriction as shown on the plan.

Respectfully submitted,



Mark J. Edsall, P.E.  
Planning Board Engineer

MJEcao

Mr. Charles Walzak from Clark Engineering came before the Board. He presented the Affidavit of Mailing, the return receipts and Affidavit of Publication.

Mr. Walzak: I have eight copies of the drainage calculations here. What we have here is a thirteen lot subdivision located at the end of Mt. Airy Road and Deans Hill Road. Subdivision is in an R3 zone. It is serviced on both sides by Deans Hill Road and Mt. Airy Road. There will be no internal road networks at all. Each individual lot as shown, most of them are an acreage of at least .8 acres. The minimum zoning required is three-quarters of an acre. Each lot will be serviced by its own individual well and there will be sewer lines installed going to the Town of New Windsor System. Basically, it is a straight forward thirteen lot subdivision and if you have any questions I will be able to take them at this time.

Mr. Schiefer: You've got fourteen. What is it?

Mr. VanLeeuwen: The big lot on the end, how much frontage does it have?

Mr. Walzak: It is 160', plus or minus.

Mr. Scheible: What exactly?

Mr. Walzak: 160.56

Mr. Scheible: We have a list of our engineer's comments, so you'd like to take a copy of them.

Mr. Walzak: I have a copy of these, I appreciate it.

Mr. Scheible: There is no sense in dealing with these since they are three pages long tonight.

Mr. Walzak: They are technical items I talked about with Mr. Edsall.

Mr. Edsall: You may want to discuss the driveway situation. I know the Board preferred the paired driveway approach. One of the comments we got back from

the Fire Prevention Bureau and they did not like that approach. So that is something you may want to meet with the Fire Prevention Bureau about. Also the slopes where the drives come off Mt. Airy as to what kind of grading you are going to do. I believe they go up to 38%.

Mr. Walzak: These driveways on Lots 1 and 2 would be the steepest. Of course there is a relatively less steeper area in the front and I am sure some cutting will be necessary in order to provide a reasonable slope up to the house. Of course the house doesn't necessarily have to be located as shown. It could be located lower on the lot or much higher. It is just that they are shown here as a schematic location and not necessarily final location.

Mr. VanLeeuwen: I'd like to see done on this. I'd like to see the drives combined.

Mr. Scheible: That is just what Mark was discussing, the Fire Department has taken an opposite view.

Mr. Walzak: The driveways are shown here as individual driveways coming down each side of the lot along the common boundary line. Then it is hard to see, I know, I'd thought you'd have your plans out. This driveway comes into a common drive at the road line.

Mr. VanLeeuwen: I am sure the Highway Department would want to see the same thing.

Mr. McCarville: The fire department doesn't want it.

Mr. Walzak: One main concern about that is if there is a call, there is only one entrance rather than a dual entrance. There is only one entrance for two houses so if there is a call, which house do they go to?

Mr. VanLeeuwen: Do they realize how many culverts you are going to need, that whole road is going to be nothing but driveways.

Mr. Walzak: We are going to do whatever the Town requires us to do.

Mr. Scheible: When it comes down to who is going to pave, it is fine in the beginning everybody paves their drive. Whenever you have dual driveway situations here--

Mr. VanLeeuwen: The width is there okay. The only thing is the driveways combine together. Let's say it is ten feet. You put a twenty foot culvert and each has its own ten foot drive coming down.

Mr. McCarville: I prefer you have acre plus lots. You should have separate drives. Why cram all the drives together? I have never been in favor of dual driveways.

Mr. Walzak: The only advantage of doing this is that there are less curve cuts to each road so it cuts down on the amount of intersections, if you'd like to call it that, driveway intersections. That is the advantage of having combined drives. The disadvantage of fire prevention standpoint when fire trucks arrive, let's say that you tell him it is the fourth drive on the right, they go down and now they have got two houses to contend with, which

house is it? By that time they should see the smoke but it could be an emergency that doesn't necessarily have a fire, medical emergency for example.

Mr. VanLeeuwen: Another reason for combined, do you realize, do you know that if the culvert goes bad it is up to the Town to replace it even though you put it in the first time? Since it is in the Town right-of-way and the Town owns the pipe the Town has to replace the pipe.

Mr. Reyns: I don't think that is a large item.

Mr. Scheible: You are going to have to put two sections of culverts, the same amount of culverts whether you put one or two drives.

Mr. McCarville: I'd like to know how much they have replaced that are fifteen years old.

Mr. Reyns: My thought on the matter is not the culverts as much as it is just what we were talking about here. Some neighbors get along and the neighbors that probably buy those houses get along but then a new neighbor that doesn't, and you have a problem with a split drive. I think on the plan and for the Town and it looks beautiful but I think I don't know what we are doing for these people. Are we creating something in the future that is going to be a problem. We haven't heard of this yet, we have done this a couple of times. Now the one we have had has been turned down by the Fire Department. I haven't been in favor of this for that simple reason.

Mr. VanLeeuwen: We have been doing it for six or eight years.

Mr. Reyns: No we haven't. I have been on here six or eight years.

Mr. McCarville: A guy in Lot 11 has his drive on the left and he may determine that the view he wants may need the drive on the right, so you don't have a driveway border so the guy is going to wind up with a separate driveway. I would not want to buy a long lot with a restriction on where I am going to put the driveway.

Mr. Scheible: I'd like to take a poll and see how each member feels.

Mr. Reyns: I think this gentleman here does these drives and he is in this all the time and he has a good idea.

Mr. Lander: I agree with Henry that when it comes to property owners you will find a fence going down the middle of two driveways, you are going to find a curve or whatever, we are dealing with people. I don't care for the idea.

Mr. Reyns: No.

Mr. McCarville: I don't care for the idea of a common driveway.

Mr. VanLeeuwen: I will go along with the Board. No big deal.

Mr. Schiefer: I don't like all the curve cuts really but I do recognize the people problem. I am not anxious of having that many curve cuts.

Mr. Scheible: I myself see problems down the road also. Snowplowing it,



people saying get your snow off my side of the drive and so forth. I'd rather stick to individual drives.

Mr. VanLeeuwen: I think we should send a letter to the Highway Superintendent and see what he has to say about it.

Mr. Rones: With the tree clearing restriction on lots 9, 10, 11 and 12 the way the homes could possibly be situated here it may be that the clearing behind the house could be right up to the lot line. You have it 50' from the elevation wall of the structure and I am just wondering what it is that your intending to preserve here. It may be that with the way the house can be situated that the way the restriction is worded it might not accomplish the purpose.

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Mr. Walzak: The purpose of clearing restriction is to limit the amount of foliage that is removed from these lots. The reason being if you're up there you can see there is a very heavily wooded area, a lot of pines and a lot of nice good wood trees so it was the intent of this Board to limit the amount of clearing to the area around the house to give the owner a backyard and some sideyard capability. If the house were pushed all the way to the back, to answer your question, the 50' restriction would only be 40' because they can't clear beyond their property line. Again, that is a possibility to put it all the way back here. I doubt that most people would go for an extra drive length to put their house at a lower elevation.

Mr. Ronces: Might it be possible or advisable to impose some other set back restriction on those lots in order to preserve the area you have in mind or make sure that doesn't become a problem.

Mr. Walzak: You're suggesting increasing the rearyard setback. From a building standpoint, I don't see where that would be too much of a problem.

Mr. Ronces: I would think you might consider it because I don't know exactly where the trees are on the ridge. If part of what you are trying to reserve is within that rearyard there that you have on 12, 11, 10 and 9 maybe in order to be sure that you are going to keep it you could change the rearyard setback there so to make sure that you do.

Mr. VanLeeuwen: The Benedict's planted the pine trees a couple times. The Lions Club bought a tree and planted it and they are all Colorado Blue Spruce.

Mr. Walzak: Very nice trees. This line I am pointing to now is the rear tree line. Basically then there are some specimen trees here but once we get into the Mt. Airy Road side of the property it is open clear grass. It is like a grass meadow.

Mr. Scheible: I'd like to open this to the floor. If you have any questions concerning this project, please rise, state your name and address, and your questions to the Board or to Mr. Walzak.

Linda Fehrs: I am here representing Citizens for a Better New Windsor. I have a couple questions and I just have a brief comment. The sewer lines you are talking about that exist, where would they be coming from?

Mr. Walzak: Existing? Let me explain, on the Mt. Airy Road side of the property we intend to install a manhole and gravity sewer line to another manhole gravity sewer to existing manhole here. This sewage then goes to a pump station located up here off the plan and then becomes a forced main into this manhole and then eventually around the property up Dean Hill Road to this point where it becomes gravity.

Ms. Fehrs: Would it become part of Sewer District 13?

Mr. Walzak: I am not familiar with the number.

Mr. McCarville: Nineteen.

Ms. Fehrs: Across the street, is that where Mt. Airy Estates is across the

street?

Mr. VanLeeuwen: Yes.

Ms. Fehrs: Is that the pump station you are talking about?

Mr. Walzak: Yes. Right about here.

Ms. Fehrs: I live right about 1000' away on Mt. Airy Road. Also I believe if Mt. Airy Estates goes through they'd be getting a water hookup. Would that have any effect on the property? My well is 600' deep and I have real poor pressure. So I don't know the feasibility of wells versus water in the area, is that going to be any consideration into the development of the property, the possibility of water across the street?

Mr. Walzak: The possibility of municipal water, I really have no idea right now. It is planned with individual wells on each lot.

Ms. Fehrs: As a forewarning, ours is 600' deep and we are 1000' away so I must say it might get expensive.

Mr. Walzak: Hydrotheology is very fickle.

Ms. Fehrs: One thing you might want to take into consideration that the speed limit is 45 mph. You can only go 35 but it is 45 in that area on Mt. Airy Road. One thing I'd like to make the Board aware of. I am not opposed to this because it is within the zoning requirements. They are not asking for a variance, I don't believe, on the lot size. The Citizens for a Better New Windsor is in the process of filing a lawsuit against the Town in regard to Mt. Airy Estates. We are concerned about any pieces of property adjacent to it or in relation and in taking the Town Board to court. We hope to within the next two weeks. You might want to take that into consideration. We would not want to stop this development but any future development in the area that might come through because we intend to include any votes or variances to be included in the lawsuit. I just wanted to verify that. Thank you.

Mr. Scheible: Thank you.

Mr. Reynolds: I make a motion we close the Public Hearing.

Mr. VanLeeuwen: I will second that.

Mr. Walzak: I'd like to ask the Board at this time to give consideration to preliminary approval of this subdivision, subject to the technical changes that the engineer gave us and your comments about the driveways.

Mr. Scheible: We hope to get you on the Agenda if everything can be straightened out at that time.

Mr. Schiefer: I'd be reluctant to give approval because of the driveway situation.



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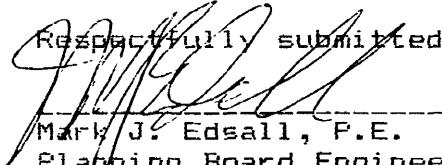
Licensed in New York,  
New Jersey and Pennsylvania

TOWN OF NEW WINDSOR  
PLANNING BOARD  
REVIEW COMMENTS

PROJECT NAME: ~~Benedict Farm Extension 50001-45100~~  
PROJECT LOCATION: Mt. Airy Road and Dean Hill Road  
NW#: 86-82  
28 October 1987

1. As of the time when review of projects was made for this meeting, no revised Plan had been received. Therefore, no review could be made for this project.

Respectfully submitted,

  
Mark J. Edsall, P.E.  
Planning Board Engineer

MJE:nje

Mr. Charles Walzak came before the Board representing this proposal.

Mr. Walzak: We are here this evening to request preliminary approval of the Benedict Pond Subdivision so that we may proceed with all of the other items outstanding and of course pursue the final approval.

Mr. Schiefer: Has he seen the engineer's report?

Mr. Walzak: The latest one dated--

Mr. Schiefer: The 28th of October.

Mr. Van Leeuwen: We haven't had a chance to discuss this thing.

Mr. Scheible: He is looking for a preliminary.

Mr. Walzak: That is all we are looking for.

Mr. Scheible: To allow him to go to the Health Department has their been a revised plan drawn up?

Mr. Walzak: I didn't submit it.

Mr. Edsall: Maybe it would be worthwhile to ask him about the workshop, are they in the sewer district or not?

Mr. Walzak: The answer is yes and they are definitely in sewer district 19.

Mr. Scheible: To appear before the workshop before the Town Board November 2 is that what that is all about sewage extension?

Mr. Roness: I have received a letter from Don Muro the attorney for the developer a copy of a letter to Supervisor Petro requesting extension of the sewer district to serve this subdivision.

Mr. Walzak: Not sewer district, extension of sewer lines within the district.

Mr. Roness: What it says I hereby request on behalf of the applicant approval for inclusion and extension of Benedict Pond's Estate subdivision into the existing sewer district.

Mr. Walzak: This is an error because this property is within the sewer district. Mr. Masten checked his map he called me back it is definitely within the district. What was asked last time was to simply petition the Town Board to have the extension onto the piping system within the district because we were

under the impression there is a problem with the existing Town of New Windsor sewage treatment plant in that no future users will be allowed because of a problem with the DEC until that problem is cleared up. This subdivision will not be able to be tied into the sewer system. Now I spoke with Dick McGoeys I'd say about a week ago and he explained to me that the problem is either cleared up at this time or to be eminently cleared up and that the plant will be then useable again.

Mr. Van Leeuwen: I think before we give preliminary we should check that out.

Mr. Walzak: I am asking preliminary approval so we can continue with this subdivision to produce a final map so that we can get these comments included on that final map so we can go to the Health Department, go to the DEC without preliminary approval everything could be changed so it basically preliminary approval of lot layout I'd like.

Mr. Mc Carville: You asked for a revision.

Mr. Walzak: We were put on the agenda recently and I didn't get a chance to make copies for the Board but this is a partial revised map because it is showing the-- or answering some of the concerns last time one of those major concerns was the dual driveways as you can see we have now provided at the request of the Board individual drives for each lot. I think one of the other comments are all the metes and bounds were to be shown that was done.

Mr. Jones: The disposition of the storm water, you are going to be creating a problem, you don't have now. When you have all the drainage coming off the roofs and drives and everything in the gutters whatever I asked for the final disposition of the water, where is it going?

Mr. Walzak: At the last Board meeting we submitted drainage calculations to each Board member and the engineer --basically the drainage is handled through sheet drainage across the property it is recommended that the ditches be deepened along each road and that is how the drainage will be handled.

Mr. Jones: Stop at the corner or through a culvert? That goes up Mt. Airy towards Browns Pond.

Mr. Walzak: There is ditches along Mt. Airy and Deans Hill.

Mr. Jones: Is there going to be another culvert going across up at the end right here at this point? Is there a culvert going across the road to direct the water towards Browns Pond?

Mr. Walzak: I believe there is, I am not quite sure.

Mr. Jones: That is why I want to know I am very much interested in it. You are going to be creating a problem.

Mr. Walzak: We have submitted the calculations as shown there is very little increase in drainage because of the way the subdivision was designed, we are utilizing a crown driveway so that the drainage the water doesn't run down the driveway correctly, it goes off into the seated areas and basically a sheet drainage into existing ditches.

Mr. Jones: You get some rain out there like the night before last forget about the sheet drainage everything in sight will be wet.

Mr. Walzak: The land is quite steep in some areas and the amount of drainage there now is not going to be significantly increased because of the development. Increased yes but not significantly so that the ditches are going to overflow and the water is going to flow across the road.

Mr. Jones: You have never seen that when the water goes into the ditches it goes right to the end of the road, there is no culvert there.

Mr. Walzak: I am not sure if there is one there or not I didn't do the survey. Right now as I said impact on the drainage is not going to be that significant.

Mr. VanLeeuwen: Who is going to deepen the ditches?

Mr. Walzak: The developer.

Mr. Van Leeuwen: Has the highway superintendent seen the map and approved it?

Mr. Walzak: Not to my knowledge as far as approving it.

Mr. Scheible: We are not giving him final approval, he's got to come back to us once again.

Mr. Rones: Are the notes with respect to the vegetation the same? The tree clearing was there any changes?

Mr. Walzak: No, no changes in that.

Mr. Scheible: The only thing that Mr. Fayo commented on were the drives and locations. Where the driveway locations will be.

Mr. Rones: We had a suggestion about that I think his preference was to have them joined and the Board's preference was to have them separated.

Mr. Mc Carville: And the fire department had a different perspective. I have no problem with preliminary you are looking at 90 days anyway.

Mr. Scheible: I don't see any harm.

Mr. Mc Carville: I agree with Tippy's comment on the drainage. I think they had another map that showed, was there a second page on the map when you were in last time?

Mr. Walzak: There is a second page but involves the sewer lines and so on.

Mr. Mc Carville: We had some discussion at the last time they were in.

Mr. Jones: I asked about it every time they came in about the drainage. I am not going to vote for it if it doesn't have the proper drainage.

Mr. Walzak: We submitted drainage calculations for the site at the last meeting to each Board member and we were waiting for his review comments. Cuts would be made to decrease that 38%, that is extreme.

Mr. Edsall: Normal procedure is part of the review process so we'd see something on the plan so I have no way of knowing if the problems will be resolved.

Mr. Van Leeuwen: It isn't ready until he looks at it.

Mr. Edsall: My other concerns, you have a sewer situation that the DEC restriction is in force there's been a request to have that lifted it is under review by the DEC between Mr. Scheible, myself and Dick McGoey we have gotten a response there seems to be a confusion whether it was in the district. The attorney is requesting to have it extended. The Board is meeting with you and the Planning Board should know if it is in the district because if they give preliminary approval based on sewer being available and the Town rejects your extension that puts this Board at an odd position.

Mr. Schiefer: I don't think we have enough for approval.

Mr. Van Leeuwen: If we had given preliminary tonight lots of time. What happens we have gone through everything now you want us to change certain things. I am not ready to give preliminary approval to this.

Mr. Jones: My question isn't answered so I am not ready either.

Mr. Petrone: I am Michael Petrone. Let's examine carefully what is going on here and I would like to know what is required once and for all to get preliminary approval. I see some oscillation going back and forth there seems to be some indecision to a pretty straight forward subdivision. Twelve lots, no roads there are questions about driveways. The driveways were included upon request of this Board. The Board approved and congratulated us about the good idea about having the drives paired.

Mr. VanLeeuwen: There is things here that you and I and this Board didn't have control over that is the problem they have to be cleared up first. First the engineer has not seen the revised map.

Mr. Petrone: I am not finished I am trying to address the Board right now we have been waivering for several months because we didn't have a stright direction. The drives were paired and we then requested to be divided. We have done that there is a question about drainage I don't understand I don't think anybody understands the question about drainage. We have one house and 13 3/4 acre lots that drains over a street that is every house in New Windsor is a house on 3/4 acre lot and drains over the street, what is the problem? We have proven with calculations that the impact on drainage is minimal what is so special about these 12 houses that impacts the drainage so specifically more than any other place in New Windsor? Or what are the things that the Board suggests in order to correct this impact. We are offering to widen the ditches that doesn't seem to satisfy anybody, can we have an indication of what would satisfy the Board in terms of draining 12 roofs? Can we get a direction on that? There doesn't seem to be any other problem at all except a question about is this lot in the district or not, we know it is in the district it has been in the district. There has been a discrepancy of semantics between a letter written by the engineer and his interpretation by my attorney. There is a conflict with the extension of the district which is meant to be the extension of the lines. All we are requiring is the extension of the lines, we are to extend the lines



approximately 400 feet to connect six lots. Now it is all fully designed, the profiles are there, nobody has objected to the profiles. Now admittedly my attorney misunderstood the question of the engineer about the extension of the lines and he wrote it as the extension of the district. Clearly the lot is in the district, what else do we have to do?

Mr. Mc Carville: Submit the map showing the changes. We are not happy with the grades of the driveways if our engineer doesn't have anything to look at he can give us no input.

Mr. Petrone: This is clearly the map shows that the grade to the drives is not 38%, your engineer seems to believe that is the drives slope in front and we have a loss of ten feet we can show cross sections clearly that can be addressed in final approval if the 38% which is not there is objectionable. Clearly it is a minor detail it is inside the lot it is a driveway and not 38%. You take ten feet off it is 15%. We have been talking here for about six months looking at 12 lots and not changing anything and we still don't know what we have to do. What do we have to do?

Mr. Walzak: I have been trying to determine if this lies in the final list.

Mr. Petrone: This is the third list, we have received installment lists.

Mr. Edsall: We have also had a tremendous variety of plans received. We have seen at least four versions.

Mr. Petrone: That is still not correct.

Mr. Van Leeuwen: The only thing you are doing is antagonizing the Board.

Mr. Scheible: The man is stating a lot of facts, he is not antagonizing anyone. I have some other thoughts about what is going on tonight.

Mr. Petrone: There has been one sketch plan it has been modified to the satisfaction of the Board on the second meeting the Board congratulated the engineer that plan has never been changed and that was April.

Mr. Jones: I think you were here the night I kept telling you about the storm drainage. It is going to go down to the end of the street and stop.

Mr. Petrone: Every single house in New Windsor drains onto the street. I don't know of any other way other than drainage on the street. I don't think your engineer knows we are draining a house on the street correct?

Mr. Jones: When it goes down and floods out the gutters who is going to suffer for that?

Mr. Petrone: If the Town of New Windsor has the problem with the drainage off the road in that particular place we'd like to know from the Town of New Windsor engineer what is the problem so perhaps we can rectify it, I don't think we are going to get around anyway when we sit since August, how there can be a problem on the road. I suggest that the Town of New Windsor road problem is a road problem of the developer, we don't know where the problem is we keep talking this is a problem, that is.

Mr. Scheible: The only comment we have from Mr. Fay is that the driveways, nothing about the drainage on the road.

Mr. Van Leeuwen: The real factor here is the problem with the Town of New Windsor and the DEC. Right now we cannot make a decision tonight and tie the Town Board into something they cannot get out of if we get approval we are tying the Town Board into extending the sewer, ok.

Mr. Scheible: They are within the sewer district.

Mr. Van Leeuwen: The Town Board has a problem with the DEC that we can't tie anything else into the sewer plant at the moment. We have violations there.

Mr. Scheible: If you lie within a district you are ok.

Mr. Edsall: No, the restriction by the DEC is there can be no extensions to the collection system even if you are within the existing district. You cannot extend the collection system nor allow any further--

Mr. Scheible: We might as well close this Board down.

Mr. Roncs: These are all pretty large lots.

Mr. Edsall: You can go through the preliminary approval process and what will happen when they go to the DEC that is when they will be stopped because they will not approve the plan. Your approval will not put the town in any jeopardy as well as you condition it on the fact that you advise them you are aware of the current restriction from the DEC. My biggest concern again Tippy's comment about the drainage I have no way of reviewing it because I don't have any new plan. Mr. Walzak tells me the old plan is sufficient and is showing them I haven't reviewed it, it is showing the other problem which is access. You have to determine you want to give preliminary with contours making access difficult where you can have problems getting on and off the Town road and we haven't demonstrated that can be resolved.

Mr. Scheible: I see a fruitless situation here to go to any kind of a motion here for your sake I can see that. If you want to get a new set of maps prepared with all the answered questions from Mr. Edsall and when you have those ready please notify our office and we will put you on the next available agenda.

Mr. Walzak: We were just trying to look for preliminary approval to take it slowly step by step so we didn't go beyond the point where Mr. Petrone is spending his money and we have nothing to show for it.

Mr. Scheible: I think I wouldn't want to get a no here tonight.

Mr. Petrone: May I just take the patience of the Board to understand what has to be shown so we don't go by additional installments. We have to satisfy the engineer that we have reasonable slopes of driveways of the steep lots.

Mr. Scheible: Show the direction of the drainage under the highway.

Mr. Van Leeuwen: Your engineer should get together with our engineer and see if they can't iron out the matter.

Mr. Petrone: I submit this is what is happening, clearly we have to satisfy the DEC, but there is an extension of the lines we have to get their permission whether we get it or not it is to be seen.

Mr. Mc Carville: County has to approve it before we do.

Mr. Petrone: It has never been brought up whereby the engineer as a request for the permission to the Town Board we have filed with this permission to the Town Board.

Mr. Edsall: I have made comments about the sewer but I don't really understand what you are aiming at.

Mr. Petrone: I am acknowledging we have read your comments and applied to the Town Board as you suggested.

Mr. Walzak: Drainage and driveways.

Mr. Scheible: If there is any additional action to the comment that Mark made on the previous meeting please have those taken care of.

Mr. Petrone: Drainage and driveways comments are required prior to preliminary approval, no other issues?

Mr. Van Leeuwen: No other issues?

Mr. Schiefer: I am not going to vote for that.

Mr. Van Leeuwen: No way.

Mr. Petrone: That is what we understand.

Mr. Walzak: These comments we will take care of as I said we considered them basically the comments necessary for final approval and we agreed to all these comments and make all the changes as these are necessary for final approval, these comments. So we were just taking step by step and again we mean no harm.

Mr. Scheible: We will get it straightened out.

Mr. Walzak: Thank you.

BENEDICT POND ESTATES SUBDIVISION (86-82)

Mr. Dave Clouser came before the Board representing this proposal along with Mr. Petrone.

Mr. Petrone: I am the owner of the property.

Mr. Scheible: State your case Mr. Clouser.

Mr. Clouser: This is the 13 plus acre subdivision that we were here for back in March for sketch plan approval. We are back now with the preliminary plan. We have received Mark's comments. Those brought about something a little easier to look at here. We have public sewer that will be extended. There is existing public sewer out there. That will be extended to serve these lots, approximately 1400 feet of sewer. We have grouped the driveways together to common access points on these sidelines to gain more spacing intervals between the drives, 200 plus feet between the drives with this arrangement. Also developing some restrictions and covenants for the lots too protecting the amount of tree removal that's involved in the lots off Dean Hill Road.

Mr. Scheible: Is there a pond in there at all?

Mr. Clouser: The pond is about 500 plus feet over this way. This red is the sewer extension for the lots. It's an existing sewer, sewer district number 19. There is also the forced main sewer that pumps back and then becomes gravel at this point going on down Dean Hill.

Mr. Mc Carville: Is this lot part of this, this is your property as well?

Mr. Petrone: No, this is property of a related company and some other people. Parts of it belong to other people not related.

Mr. Reyns: Are you aware of the review comments of our engineer?

Mr. Clouser: Yes.

Mr. Scheible: Do you have a copy?

Mr. Clouser: Yes, I do.

Mr. Scheible: I have driven around there quite a few times already and taken a look.

Mr. Clouser: Twenty-five foot, sir, is firm. The center line, the deed goes out to the center line. It will be 50 feet.

Mr. Scheible: It is quite a steep hill coming off this area, isn't it coming up those driveways, coming up here, it is quite steep going into the side of the hill. Do you plan on making any great changes in there at all?

Mr. Clouser: Minimal. We are looking more to split level house to fit the lots, something of a basement garage type.

Mr. Scheible: It comes in there pretty steep.

Mr. Petrone: We may want to, actually at some point we will ask the Board's support in suggesting some restrictive covenants to the houses into the tree protection. Perhaps we may stipulate in these, with a walk out basement or garage as the underneath the house. The group would like to see it that way. Perhaps it can be enforced or written right in the subdivision plan.

Mr. Scheible: This whole area that's been field right?

Mr. Clouser: Yes.

Mr. Scheible: Then you get wooded area over the top of this hill here.

Mr. Petrone: We would like to discuss some covenants and to see as to what extent the Board can assist in protecting those trees. We have some suggestions.

Mr. Clouser: This is the access for the sewer house on the big lot, the one on top. This would be an easement of 20 foot wide easement for lateral surface.

Mr. Mc Carville: Who would maintain that?

Mr. Clouser: That would be the owner by agreement. It will be running on the lot line. That would be the side yard for any maintenance whatever. It would be centered on the lot line.

Mr. Mc Carville: Where is your sewer hookup coming in from this side for lots number 12, 11, 9, where does the sewer come in there?

Mr. Clouser: This is an extension from a gravity sewer, the manhole is down here on Mt. Airy Road. It runs along the right of way of Dean Hill Road. They will be extended, that sewer. The lateral surface off that. Work out the grade. The depth of the sewer varies from 7 to 13 feet deep. All of the homes can be picked up by gravity.

Mr. Reyns: What are the size of the lots?

Mr. Clouser: They vary from I believe the smallest is about a tenth of an acre and the large one here is 2.6 acres. The minimum is 3/4 of an acre.

Mr. Jones: Where is the design on your storm drainage, where is that going to wind up?

Mr. Clouser: Storm drainage would be the culverts for the driveways, individual culverts, the drainage now is flowing off towards the road in all directions.

Mr. Jones: You are going to be adding more with your driveways and everything else. Where would the final disposition of that water go, that's what I want to know. You could put it down in the road, yes, but if there is a big heavy rain and the road doesn't take it, where will it go. Somebody else's property because you've got a hill here.

Mr. Clouser: This would be less dense as far as pervious area than many subdivisions. Just by the larger lots.

Mr. Jones: My reason for asking, I don't want to see you go in there and put in a storm drainage system that's going to cause problems for somebody else when we've got a water supply over here just up the road a little ways.

Mr. Scheible: What is the the adjacent owners and I note there is 57 plus acres that are going to be developed at a future time?

Mr. Petrone: I have discussed this and we have been contemplating the assembly of that land and there is some understanding with the previous owners that in order to clarify the issues of the availability of that land and any conditions of the pond. I contacted Michael Marwin of DEC and I requested because he even negotiated or discussing their position in relation to that pond. I have been through several sad surprises from the DEC involved with the thing. So DEC responded with the letter and on the business that we are proceeding, you see there is some assembly, some land that is not, there is another lot that belongs to somebody else. We don't anticipate, I may even decide to go and live here at some point. We will not anticipate to go there or even plan anything for at least two years. Depending on whatever land we wind up with.

Mr. Scheible: You've got a copy of our engineer's review, comments.

Mr. Reynolds: I don't really approve of lot 13 and lot 1. I don't like these triangular lots in plans. I think they're, something can be done about that. Your coming from 75 feet to the end of this with a 72 feet or 75 feet whatever it is to the back. The back doesn't---

Mr. Rones: That's a flag lot.

Mr. Reynolds: We don't like flag lots in the first place.

Mr. Scheible: You could protect that crop of trees by just making some of these lot: larger, and eliminating 13, is that what you mean Henry?

Mr. Reynolds: Yes.

Mr. Scheible: It would be nicer to have larger lots in there since you have that crop of trees.

Mr. Petrone: I believe we already exceed the bulk limitations with single lots.

Mr. Scheible: We don't like flag lots.

Mr. Petrone: This was rules not to be a flag lot by two board meetings. This lot is three times the size of the bulk requirement. In addition to that I mean there is deliberate intent to keep this field up on top as intact as possible.

Mr. Scheible: The first one was loaded with flag lots.

Mr. Petrone: We took them all out.

Mr. Scheible: This isn't really that bad.

Mr. Clouser: This is a beautiful lot up here with the view.

Mr. Petrone: We did it deliberate, not to push the lots in the back to try and

keep this field whole.

Mr. Scheible: Is that the row of pine trees going down through there?

Mr. Petrone: Yes, that's right.

Mr. Clouser: We looked at other ways of doing it. We were ending up with deep back yards in this beautiful area on top where the views were becoming the back line.

Mr. Scheible: Does that drop off this way, does it pitch?

Mr. Petrone: It keeps rising slightly and stays basically flat. Then when it gets closer to the pond.

Mr. Scheible: You can't see the pond from here.

Mr. Petrone: No, we wanted to ask, I have a suggestion. We wanted to include a covenant in those lots, lot 9 through 13, well, really not 13, 9 through 12 indicating that construction, I mean tree removal or trees cannot be cut for any more land 50 feet in the rear yard, 40 or 30 feet from the front, in the front yard and 15 feet on the side from the house. It's tentative thing to give the owner freedom to move his house more or less where he wants but still to minimize the tree cutting. I don't know if this can be, it's a suggestion. If it cannot be included in this subdivision plan by the Board they we will restrict it by restrictive covenant. It would be nicer if it were included, if it was a restriction it would be more enforceable. But I don't know what the Board is willing to do.

Mr. Roncs: I think it would be fine to include it as map notes, the kind of restrictions that you think would be helpful for the subdivision.

Mr. Petrone: It's really, this cluster of trees is continuous. It should be protected as much as we would like to keep it that way. We have that idea. There may be another way of doing it. I don't know. In terms of what the Board also will welcome some rotation in the terms of nature of the building or house or should it be a private covenant?

Mr. Scheible: Are you going to do the building yourself?

Mr. Petrone: I doubt it.

Mr. Scheible: You are only selling the lots?

Mr. Petrone: I believe so. I have not finalized this.

Mr. Scheible: As far as I am concerned I don't want to see any modulars. I don't know how the rest of the Board feels.

Mr. Petrone: We would rather not see any bi-levels.

Mr. Roncs: Even though that is something that we really don't have present authority to do. I mean it's fine for you as developers and private parties to make whatever restrictions you think are helpful for the marketing of the subdivision and we might think that they are fine from a planning point of view

too but it is really not appropriate for us to impose upon you an architectural review.

Mr. Petrone: Then the Board would welcome restrictions on the trees or on the landscaping, lets say, but not on the building?

Mr. Scheible: Yes.

Mr. Petrone: We can cover that with private covenants.

Mr. Rones: We don't want to discourage you from putting restrictions on the building we can't tell you to do it either.

Mr. Petrone: Right. We understand the position. We will include some landscaping and environmental notes in there and we will cover the rest.

Mr. Edsall: I think it might be appropriate that the Board look at toward setting the public hearing as required and as well take some SEQR action if we want to determine yourself lead agency. We do have a short form EAF filed.

Mr. Scheible: Here is a points, listen to this one. The Benedict Pond Estates was disapproved by the Bureau of Fire Prevention for the following reasons and this really throws a monkey wrench into a lot of other things that we have been approving. They want the driveways to be separated. The drainage, you have one culvert underneath this driveway, it's easier to maintain.

Mr. Schiefer: I don't understand why they would object on that basis.

Mr. Rones: Maybe on the assumption if it were blocked, you can block two houses.

Mr. Babcock: What he told me on the other building why they want two accesses, if one is blocked then they can get to the building.

Mr. Scheible: We do have to make sure they can get to the building. We do have the short environmental assessment form on record. The Bureau of Fire Prevention, and this goes back further, it is strongly recommended that until water is available for fire, but that we went over that before. That the project be rejected, however, it is only a recommendation due to the multi-family dwellings. Also does the road meet present Town specifications. We reviewed that before. Mr. Fayo was concerned where driveway locations will be. He should get in touch with the fire department then.

Mr. Jones: Mr. Chairman, I asked a question before, I didn't get an answer. Nobody wants to answer me. Every developer comes in and wants to build. I asked where the storm water is going. I didn't get no answer. What's the final disposition of the storm water. You can't create a problem for somebody else with your storm water because you have got all these driveways, all that water running out there.

Mr. Schiefer: It's all coming out to the road.

Mr. Jones: I would like to get an answer by that.

Mr. Clouser: To make a determination of how much an impact the paved surface will increase the runoff rate.



Mr. Jones: Right now water is being absorbed in the ground. Nothing going out in the road, only what is on the ground. But you are going to create a problem with the driveways and all, the roofs, everything else.

Mr. Clouser: Certainly there must be some water in the ditches along the road now just from the natural runoff.

Mr. Jones: That is where you intend to---

Mr. Scheible: There are, in this area, there are a lot of wet areas along that road. I am recollecting, I remember driving out there after a storm or in the winter months. There is a lot of water running off the road. The road condition is pretty poor. The drainage situation along that whole stretch there is in poor condition. The closer you get to 94, it gets even worse. There is a lot of water running right off. It's Mt. Airy Road. Even in this area, water is coming, during the stormy period or a wet season, water does pass right over the top of the road. The culverts are not, aren't carrying what's there now. I think only because it needs to be guttered out in there and it's never been done.

Mr. Clouser: Deep in the ditch as such.

Mr. Scheible: Am I right or wrong, you are up in that area more than I am.

Mr. Clouser: We don't want to cause any problems for anyone downstream.

Mr. Jones: I think you should answer one way or the other.

Mr. Schiefer: There is going to be some help with the retention of trees. But it is going to be more difficult now with the buildings and driveways.

Mr. Reynolds: Is this phase 1 of a larger development?

Mr. Petrone: No, it isn't.

Mr. Reynolds: It states in here that it is.

Mr. Petrone: Well, I think the engineer read it to be that way, but it's not.

Mr. Reynolds: This is all you intend to develop, right, at least for the next few years?

Mr. Petrone: We don't even have assembled any land. We only have control of some land around the pond. And I have raised the question with DEC, precisely to see if that pond was restricted in any manner and to what extent.

Mr. Mc Carville: You control some land around the pond?

Mr. Petrone: The company I represent, yes, as a corporation.

Mr. Mc Carville: They own this?

Mr. Petrone: Pardon?

Mr. Mc Carville: That's just what we are saying. It may be exactly what we are saying.

Mr. Scheible: Gentleman, at this time we have to make a clarification as to the lead agency. I need approval.

Mr. Reynolds: I will make a motion that we become the lead agency.

Mr. Jones: I second it.

Mr. Scheible: We have a motion and it was seconded that the New Windsor Planning Board declare itself as lead agency. Is there any further discussion? If not, we will have a roll call.

ROLL CALL: ALL AYES

Mr. Rones: In connection with the SEQR process since woodlands and matured trees have been identified as being prevalent on the project site, before making a determination as to whether this should be a positive or negative declaration, I think it would be appropriate to have the applicant submit the proposed covenants and restrictions or map notes to protect those terrain features, any woodlands in that area and then we can perhaps determine if those would be satisfactory to mitigate the impact of this project on the woodland areas there.

Mr. Edsall: I would like to think it appropriate that we look for a long term EAF. I don't believe there is going to be any third party to it. Mainly just so we can identify the acreage for each type of ground covering.

Mr. Scheible: Do you have that?

Mr. Edsall: They have a short form on file, they will have to give us a long one.

Mr. Scheible: Also, we have to set up a public hearing. How much time do you think you are going to need, Mr. Clouser?

Mr. Clouser: When is your next meeting? You see there is a ten day notice, published notice.

Mr. Scheible: Right. Let's go for, would you have it ready by the second meeting of September?

Mr. Clouser: Yes.

Mr. Scheible: That's--

Mr. Edsall: That would be the 23rd of September, I am sure you understand the procedure.

Mr. Clouser: Yes, I do. Going through the list of comments that many of these are for the final map, am I making some assumptions that I should not make?

Mr. Scheible: Say that again?

Mr. Clouser: Looking at many of the comments, it looks like some of these or

most of these comments are applied to the final map. Is there anything else that we should--

Mr. Scheible: Yes, there is two pages in that, you realize that. Do you have both pages there?

Mr. Clouser: Yes.

Mr. Scheible: Are there any other comments are you saying?

Mr. Scheifer: I think at this point he has got a good point. I think you should make an attempt to mention the drainage problem. I think not on here. I don't know the solution, but there are different ways of doing it. Give some kind of assessment, how much drainage is going to be coming off.

Mr. Scheible: You will get more information at the public hearing. I am sure of that.

Mr. Clouser: Sewer plans will be coming after the public hearing, also. The status on the restrictions from the DEC on extensions for the sewer district, I am not aware of that.

Mr. Edsall: It is still in effect. There is the potential, hopefully shortly that will be lifted to a certain extent due to the fact that the treatment plant has been meeting the speediest permit, at least at this point.

Mr. Jones: What's the section you are talking about?

Mr. Petrone: What is the condition now? What is the restriction?

Mr. Scheible: The restriction is on the entire Town to make any extension to the sewer collection. I think we've got everything that we need from you. If there is any further questions, you can get in touch with either the building inspector or Mr. Edsall himself.

Mr. Edsall: Have they given sketch plan approval? Sketch plan approval before they can schedule a public hearing. It might be at least wise to grant them sketch plan approval so that they have 45 days basically to get in.

Mr. Schiefer: There is a basic comment, if they address all the requirements to put up --

Mr. Edsall: Understanding the Board, that there is three different approvals that you will grant to a subdivision. Sketch plan approval, preliminary and final.

Mr. Schiefer: I vote we give a sketch plan approval on the Benedict Pond Estates Subdivision. I make a motion that we do.

Mr. Mc Carville: Seconded.

Mr. Scheible: We have a motion and it was seconded that the sketch plan approval be granted for Benedict Pond Estates. Is there any further discussion? If not roll call:

.. ROLL CALL: MR. MC RVILLE AYE  
MR. REYNS NAY  
MR. LANDER AYE  
MR. JONES AYE

Mr. Schiefer: Before I vote, may I ask why, Henry? I am not objecting I am just curious.

Mr. Reyns: Well, I have objections to the plans. Number 1, I think that it's been indicated by the engineer and conservation department there that there is another building to be done later and it's not being brought forth, I just feel that that makes my feeling no. Until those things are cleared up.

Mr. Schiefer: Sketch plan, you have still got to meet the engineering.

Mr. Reyns: I know the sketch plan. I am saying I just don't approve.

MR. SCHIEFER AYE  
MR. SCHEIBLE AYE



# COUNTY OF ORANGE

LOUIS HEIMBACH, County Executive

# Department of Health

124 MAIN STREET  
GOSHEN, NEW YORK 10924 TEL: 914-294-7961

Walter O. Latzko  
President, Board of Health

October 7, 1987

RE: Benedict Pond Estates  
Town of New Windsor

Planning Board  
Town of New Windsor  
555 Union Avenue  
New Windsor, NY 12550

Gentlemen:

We call your attention to the requirement of having the New York State Department of Environmental Conservation review and approve the proposed sewer lines for this development. Following D.E.C. approval, our department can review the realty subdivision plan.

Construction should not be permitted until after all necessary approvals have been obtained.

Very truly yours,

M. J. Schleifer, P.E.  
Assistant Commissioner

MJS:dlb

cc: File



1763

# TOWN OF NEW WINDSOR

555 UNION AVENUE  
NEW WINDSOR, NEW YORK

September 10, 1987

Clark Engineers  
259 Route 17K  
Newburgh, NY 12550

Attn: Melanie Redfern

Re; 65-1-51.2/Variance List

Dear Ms. Redfern:

According to our records, the attached list of property owners are within five hundred (500) feet of the above mentioned property.

The charge for this service is \$45.00, minus your deposit of \$25.00. Please remit same to the Town Clerk, Town of New Windsor.

Very truly yours,

*Christian E. Jahrling/cp*

CHRISTIAN E. JAHRLING, IAO  
SOLE ASSESSOR

CEJ/cp  
Attachments

White, Kenneth P. & Amy  
RD 2 Dean Hill Rd.  
New Windsor, NY 12550

Werner, Frederick Donald & Rosemarie  
PO Box 156  
Vails Gate, NY 12584

Purdy, Frank D. &  
Townsend, Dwight M. &  
Husted, James C.  
RD 2 Rt. 94, Box 108  
Newburgh, NY 12550

Sweeney, Leslie M. & Elizabeth P.  
373 Undercliff Ave.  
Edgewater, NJ 07020

OMAT Inc.  
RD 1, Box 673D  
Monroe, NY 10950

Satterly, Charles & Margaret  
RD 2 Riley Rd. Box 277  
New Windsor, NY 12550

Harris, Bryant & Ella  
Box 525  
Vails Gate, NY 12584

Peterson, Alton & Alice  
RD 2 Riley Rd.  
New Windsor, NY 12550

Gatto, Anthony J. & Eileen K.  
RD 2, Box 267A Riley Rd.  
New Windsor, NY 12550

Gatto, Anthony Jr. & Dolores  
RD 2 Riley Rd.  
New Windsor, NY 12550

Barasky, David & Helen  
RD 2 Riley Rd.  
New Windsor, NY 12550

Mula, Alice Mary  
Box 282  
Vails Gate, NY 12584

Gambino, Rose Marie  
Box 271 Birch Dr. & Riley Rd.  
New Windsor, NY 12550

DeClemente, Sam  
PO Box 571  
Vails Gate, NY 12584

Baird, Scott R. & Lisa K.  
c/o Lederle Labs  
Middletown Rd.  
Pearl River, NY

DiStefano, Frances  
c/o Stallone, John  
41 Knox Dr.  
New Windsor, NY 12550

Morin, John C. Jr. & Elizabeth P.  
Ash St.  
New Windsor, NY 12550

Kullberg, Karl H. & Alice M.  
PO Box 282  
Vails Gate, NY 12584

County of Orange  
255-275 Main St.  
Goshen, NY 10924

Gadbois, John  
PO Box 164  
Vails Gate, NY 12584

Mock, George C. & Delores N.  
RD 2 Riley Rd.  
New Windsor, NY 12550

McCaster, Rufus & Beulah  
RD 2 Riley Rd.  
New Windsor, NY 12550

Oneillo, Miele  
25 Seven Lakes Rd.  
Sloatsburg, NY 10974

Maceli, Mae  
RD 2 Riley Rd.  
New Windsor, NY 12550

Rieber, Kay  
43 Knox Dr.  
New Windsor, NY 12550

Beltempo, Saverio & Anastasia  
Box 163C, RD 2 Riley Rd.  
New Windsor, NY 12550



AFFIDAVIT OF MAILING

STATE OF NEW YORK     )  
                              ) ss.:  
COUNTY OF ORANGE     )

Valerie H. Ryan, being duly sworn, deposes and says, I am a resident of Warwick, New York, and that on the 23rd day of September, 1987, I mailed the annexed Notice of Public Hearing to each of the parties hereinafter named by depositing in a United States Post Office or official depository at Goshen, New York, a true copy of said notice, each properly enclosed in a securely sealed, post-paid wrapper, marked "CERTIFIED MAIL, RETURN RECEIPT REQUESTED", directed respectively to each of the following parties at the address set opposite their names:

NAME:	ADDRESS:
✓1. Kenneth P. & Amy White	RD 2, Dean Hill Road New Windsor, N.Y. 12550
✓2. Frederick & Rosemarie Werner	P. O. Box 156 Vails Gate, N.Y. 12584
✓3. Frank D. Purdy and Dwight M. Townsend and James C. Husted	RD 2, Route 94, Box 108 Newburgh, N.Y. 12550
✓4. Leslie & Elizabeth Sweeney	373 Undercliff Avenue Edgewater, N.J. 07020
✓5. OMAT Inc.	RD 1, Box 673D Monroe, N.Y. 10950
✓6. Charles & Margaret Satterly	RD 2, Riley Road, Box 277 New Windsor, N.Y. 12550
✓7. Bryant & Ella Harris	Box 525 Vails Gate, N.Y. 12584
✓8. Alton & Alice Peterson	RD 2, Riley Road New Windsor, N.Y. 12550
✓9. Anthony & Eileen Gatto	RD 2, Box 267A, Riley Road New Windsor, N.Y. 12550
✓10. Anthony & Dolores Gatto, Jr.	RD 2, Riley Road New Windsor, N.Y. 12550
✓11. David & Helen Barasky	RD 2, Riley Road New Windsor, N.Y. 12550
✓12. Alice Mary Mula	Box 282 Vails Gate, N.Y. 12584

(continued)

- ✓13. Rose Marie Gambino
- 14. Sam DeClemente
- ✓15. Scott & Lisa Baird
- ✓16. Frances DiStefano
- ✓17. John C. & Elizabeth Morin
- ✓18. Karl & Alice Kullberg
- ✓19. County of Orange
- ✓20. John Gadbois
- ✓21. George & Delores Mock
- ✓22. Rufus & Beulah McCaster
- ✓23. Miele Oneillo
- ✓ 24. Mae Maceli
- ✓25. Kay Rieber
- ✓25. Saverio & Anastasia Beltempo
- \*26. Joseph P. Rones, Esq.
- \*27. Pauline Townsend, Town Clerk  
Town of New Windsor
- \*28. John A. Petro, Supervisor  
Town of New Windsor
- \*29. Henry F. Scheible, Chairman  
Planning Board
- \*30. Mark J. Edsall, P.C.

\* These five individuals were notified  
by regular first-class mail.

Box 271, Birch Dr. & Riley Rd.  
New Windsor, N.Y. 12550  
P. O. Box 571  
Vails Gate, N.Y. 12584  
c/o Lederle Labs  
Middletown Road  
Pearl River, N.Y. 10965  
c/o John Stallone  
41 Knox Drive  
New Windsor, N.Y. 12550  
Ash Street  
New Windsor, N.Y. 12550  
P. O. Box 282  
Vails Gate, N.Y. 12584  
255-275 Main Street  
Goshen, N.Y. 10924  
P. O. Box 164  
Vails Gate, N.Y. 12584  
RD 2, Riley Road  
New Windsor, N.Y. 12550  
RD 2, Riley Road  
New Windsor, N.Y. 12550  
25 Seven Lakes Road  
Sloatsburg, N.Y. 10974  
RD 2, Riley Road  
New Windsor, N.Y. 12550  
43 Knox Drive  
New Windsor, N.Y. 12550  
Box 163C, RD 2, Riley Road  
New Windsor, N.Y. 12550  
436 Route 9W  
Newburgh, N.Y. 12550  
555 Union Avenue  
New Windsor, N.Y. 12550  
555 Union Avenue  
New Windsor, N.Y. 12550  
555 Union Avenue  
Newburgh, N.Y. 12550  
McGoey and Hauser  
Consulting Engineers, P.C.  
45 Quassaick Avenue  
New Windsor, N.Y. 12550

*Valerie H. Ryan*  
\_\_\_\_\_  
Valerie H. Ryan

SWORN to before me this  
14th day of September, 1987.

*Matthew T. Bennett*  
\_\_\_\_\_  
Notary Public

**MATTHEW T. BENNETT**  
NOTARY PUBLIC, STATE OF NEW YORK  
QUALIFIED IN ORANGE COUNTY  
COMMISSION EXPIRES NOV. 30, 1989

LEGAL NOTICE

NOTICE IS HEREBY GIVEN that the PLANNING BOARD of the TOWN OF NEW WINDSOR, County of Orange, State of New York will hold a PUBLIC HEARING at Town Hall, 555 Union Avenue, New Windsor, New York on October 14, 1987 at 7:30 p.m. on the approval of the proposed BENEDICT POND ESTATES, Subdivision of Lands of Mr. Michael Petrone, located at the corner of Mt. Airy Road and Dean Hill Road in the Town of New Windsor, New York. Map of the Subdivision of Lands is on file and may be inspected at the Town Clerk's Office, Town Hall, 555 Union Avenue, New Windsor, New York prior to the Public Hearing.

Dated: September 17, 1987

By Order Of

TOWN OF NEW WINDSOR PLANNING BOARD

Henry F. Scheible

Chairman

**SENDER:** Complete items 1 and 2 when additional services are desired, and complete items 3 and 4. Put your address in the "RETURN TO" space on the reverse side. Failure to do this will prevent this card from being returned to you. The return receipt fee will provide you the name of the person delivered to and the date of delivery. For additional fees the following services are available. Consult postmaster for fees and check box(es) for additional service(s) requested.

1. ☐ Show to whom delivered, date, and addressee's address. 2. ☐ Restricted Delivery.

3. Article Addressed to:  
*Frances D. Stefano*  
*c/o John Stallone*  
*41 Knox Drive*  
*New Windsor NY*  
*12550*

4. Article Number

Type of Service:  
☐ Registered ☐ Insured  
☐ Certified ☐ COD  
☐ Express Mail

Always obtain signature of addressee or agent and **DATE DELIVERED**.

5. Signature - Addressee  
*X* *John Stallone*

6. Signature - Agent  
*X*

7. Date of Delivery  
*SEP 24 1987*

8. Addressee's Address (ONLY if requested and fee paid)

PS Form 3811, Feb. 1986 **DOMESTIC RETURN RECEIPT**

**SENDER:** Complete items 1 and 2 when additional services are desired, and complete items 3 and 4. Put your address in the "RETURN TO" space on the reverse side. Failure to do this will prevent this card from being returned to you. The return receipt fee will provide you the name of the person delivered to and the date of delivery. For additional fees the following services are available. Consult postmaster for fees and check box(es) for additional service(s) requested.

1. ☐ Show to whom delivered, date, and addressee's address. 2. ☐ Restricted Delivery.

3. Article Addressed to:  
*County of Orange*  
*255-275 Main St.*  
*Goshen NY 10924*

4. Article Number

Type of Service:  
☐ Registered ☐ Insured  
☐ Certified ☐ COD  
☐ Express Mail

Always obtain signature of addressee or agent and **DATE DELIVERED**.

5. Signature - Addressee  
*X* *WEL*

6. Signature - Agent  
*X*

7. Date of Delivery  
*9/21/87*

8. Addressee's Address (ONLY if requested and fee paid)

PS Form 3811, Feb. 1986 **DOMESTIC RETURN RECEIPT**

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3. Article Addressed to:  
*John C + Elizabeth Morin*  
*Ash Street*  
*New Windsor NY*  
*12550*

4. Article Number  
*P542-028-599*

Type of Service:  
☐ Registered ☐ Insured  
☒ Certified ☐ COD  
☐ Express Mail

Always obtain signature of addressee or agent and **DATE DELIVERED**.

5. Signature - Addressee  
*X* *Elizabeth Morin*

6. Signature - Agent  
*X*

7. Date of Delivery  
*9-24-87* *NY 12550*

8. Addressee's Address (ONLY if requested and fee paid)

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1. ☒ Show to whom delivered, date, and addressee's address. 2. ☐ Restricted Delivery.

3. Article Addressed to: Kenneth P. & Amy White RD 2, Dean Hill Road New Windsor, NY 12550	4. Article Number <i>P412 286 134</i> Type of Service: <input type="checkbox"/> Registered <input type="checkbox"/> Insured <input checked="" type="checkbox"/> Certified <input type="checkbox"/> COD <input type="checkbox"/> Express Mail Always obtain signature of addressee or agent and <b>DATE DELIVERED</b> .
5. Signature - Addressee <i>X [Signature]</i>	8. Addressee's Address (ONLY if requested and fee paid)
6. Signature - Agent <i>X</i>	
7. Date of Delivery <i>9-24-87 Rf no 2</i>	

PS Form 3811, Feb. 1986 DOMESTIC RETURN RECEIPT

**SENDER:** Complete items 1 and 2 when additional services are desired, and complete items 3 and 4. Put your address in the "RETURN TO" space on the reverse side. Failure to do this will prevent this card from being returned to you. The return receipt fee will provide you the name of the person delivered to and the date of delivery. For additional fees the following services are available. Consult postmaster for fees and check box(es) for additional service(s) requested.

1. ☐ Show to whom delivered, date, and addressee's address. 2. ☐ Restricted Delivery.

3. Article Addressed to: <i>John Gadbois</i> <i>PO Box 164</i> <i>Vails Gate NY</i> <i>12584</i>	4. Article Number <i>P542-028-602</i> Type of Service: <input type="checkbox"/> Registered <input type="checkbox"/> Insured <input checked="" type="checkbox"/> Certified <input type="checkbox"/> COD <input type="checkbox"/> Express Mail Always obtain signature of addressee or agent and <b>DATE DELIVERED</b> .
5. Signature - Addressee <i>X [Signature]</i>	8. Addressee's Address (ONLY if requested and fee paid)
6. Signature - Agent <i>X</i>	
7. Date of Delivery <i>SEP 24 1987</i>	

PS Form 3811, Feb. 1986 DOMESTIC RETURN RECEIPT

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1. ☐ Show to whom delivered, date, and addressee's address. 2. ☐ Restricted Delivery.

3. Article Addressed to: <i>Scott &amp; Lisa Baird</i> <i>c/o Lederle Labs</i> <i>Middletown Rd</i> <i>Pearl River NY 10965</i>	4. Article Number Type of Service: <input type="checkbox"/> Registered <input type="checkbox"/> Insured <input type="checkbox"/> Certified <input type="checkbox"/> COD <input type="checkbox"/> Express Mail Always obtain signature of addressee or agent and <b>DATE DELIVERED</b> .
5. Signature - Addressee <i>X [Signature]</i>	8. Addressee's Address (ONLY if requested and fee paid)
6. Signature - Agent <i>[Signature]</i>	
7. Date of Delivery <i>9/24/1987</i>	

PS Form 3811, Feb. 1986 DOMESTIC RETURN RECEIPT

**SENDER:** Complete items 1 and 2 when additional services are desired, and complete items 3 and 4. Put your address in the "RETURN TO" space on the reverse side. Failure to do this will prevent this card from being returned to you. The return receipt fee will provide you the name of the person delivered to and the date of delivery. For additional fees the following services are available. Consult postmaster for fees and check box(es) for additional service(s) requested.

1. ☒ Show to whom delivered, date, and addressee's address. 2. ☐ Restricted Delivery.

3. Article Addressed to:  
*Anthony & Dolores Gatto Jr*  
*RD 2 Riley Road*  
*New Windsor NY*  
*12550*

4. Article Number  
*P412286144*

Type of Service:  
☐ Registered ☐ Insured  
☒ Certified ☐ COD  
☐ Express Mail

Always obtain signature of addressee or agent and **DATE DELIVERED**.

5. Signature — Addressee  
*X*

6. Signature — Agent  
*X* *Anthony Gatto*

7. Date of Delivery  
*9.24.87* *NF RD2*

8. Addressee's Address (ONLY if requested and fee paid)

PS Form 3811, Feb. 1986 **DOMESTIC RETURN RECEIPT**

**SENDER:** Complete items 1 and 2 when additional services are desired, and complete items 3 and 4. Put your address in the "RETURN TO" space on the reverse side. Failure to do this will prevent this card from being returned to you. The return receipt fee will provide you the name of the person delivered to and the date of delivery. For additional fees the following services are available. Consult postmaster for fees and check box(es) for additional service(s) requested.

1. ☒ Show to whom delivered, date, and addressee's address. 2. ☐ Restricted Delivery.

3. Article Addressed to:  
*Saverio & Anastasia*  
*Beltempo*  
*Box 163C RD 2*  
*Riley Rd*  
*New Windsor NY 12550*

4. Article Number  
*P542-028-486*

Type of Service:  
☐ Registered ☐ Insured  
☒ Certified ☐ COD  
☐ Express Mail

Always obtain signature of addressee or agent and **DATE DELIVERED**.

5. Signature — Addressee  
*X* *Saverio Beltempo*

6. Signature — Agent  
*X*

7. Date of Delivery  
*9.24.87* *NF RD2*

8. Addressee's Address (ONLY if requested and fee paid)

PS Form 3811, Feb. 1986 **DOMESTIC RETURN RECEIPT**

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1. ☒ Show to whom delivered, date, and addressee's address. 2. ☐ Restricted Delivery.

3. Article Addressed to:  
*Geo. & Dolores Mock*  
*RD 2 Riley Rd*  
*New Windsor NY*  
*12550*

4. Article Number  
*P-542-028-603*

Type of Service:  
☐ Registered ☐ Insured  
☒ Certified ☐ COD  
☐ Express Mail

Always obtain signature of addressee or agent and **DATE DELIVERED**.

5. Signature — Addressee  
*X*

6. Signature — Agent  
*X* *Raymond Mock*

7. Date of Delivery  
*9.24.87* *NF RD2*

8. Addressee's Address (ONLY if requested and fee paid)

PS Form 3811, Feb. 1986 **DOMESTIC RETURN RECEIPT**

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1. ☒ Show to whom delivered, date, and addressee's address. 2. ☐ Restricted Delivery.

3. Article Addressed to: <i>Rufus &amp; Beulah McCaster</i> <i>RD 2 Riley Rd</i> <i>New Windsor NY</i> <i>12550</i> <i>Rufus McCaster</i>	4. Article Number <i>P542-028-481</i> Type of Service: <input type="checkbox"/> Registered <input type="checkbox"/> Insured <input type="checkbox"/> Certified <input type="checkbox"/> COD <input type="checkbox"/> Express Mail Always obtain signature of addressee or agent and DATE DELIVERED.
5. Signature — Addressee <i>X</i>	8. Addressee's Address (ONLY if requested and fee paid)
6. Signature — Agent <i>X</i>	
7. Date of Delivery <i>9-24-87</i> <i>Rufus</i>	

PS Form 3811, Feb. 1986

DOMESTIC RETURN RECEIPT

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1. ☒ Show to whom delivered, date, and addressee's address. 2. ☐ Restricted Delivery.

3. Article Addressed to: <i>Anthony &amp; Eileen Gatto</i> <i>RD 2, Box 267A Riley Rd</i> <i>New Windsor NY</i> <i>12550</i> <i>Eileen Gatto</i>	4. Article Number <i>P412-286-143</i> Type of Service: <input type="checkbox"/> Registered <input type="checkbox"/> Insured <input checked="" type="checkbox"/> Certified <input type="checkbox"/> COD <input type="checkbox"/> Express Mail Always obtain signature of addressee or agent and DATE DELIVERED.
5. Signature — Addressee <i>X</i>	8. Addressee's Address (ONLY if requested and fee paid)
6. Signature — Agent <i>X</i>	
7. Date of Delivery <i>9-24-87</i> <i>Rufus</i>	

PS Form 3811, Feb. 1986

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1. ☒ Show to whom delivered, date, and addressee's address. 2. ☐ Restricted Delivery.

3. Article Addressed to: <i>Satterly, Charles &amp; Margaret</i> <i>RD 2, Riley Rd., Box 277</i> <i>New Windsor, NY 12550</i>	4. Article Number <i>P412-286-139</i> Type of Service: <input type="checkbox"/> Registered <input type="checkbox"/> Insured <input checked="" type="checkbox"/> Certified <input type="checkbox"/> COD <input type="checkbox"/> Express Mail Always obtain signature of addressee or agent and DATE DELIVERED.
5. Signature — Addressee <i>X</i> <i>Margaret Satterly</i>	8. Addressee's Address (ONLY if requested and fee paid)
6. Signature — Agent <i>X</i>	
7. Date of Delivery	

PS Form 3811, Feb. 1986

DOMESTIC RETURN RECEIPT



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1. ☐ Show to whom delivered, date, and addressee's address. 2. ☐ Restricted Delivery.

3. Article Addressed to:

OMAT INC.  
RD 1, BOX 673D  
MONROE, NY 10950

4. Article Number

Type of Service:

- ☐ Registered ☐ Insured  
☐ Certified ☐ COD  
☐ Express Mail

Always obtain signature of addressee or agent and **DATE DELIVERED**.

5. Signature — Addressee

X

6. Signature — Agent

X

7. Date of Delivery

8. Addressee's Address (ONLY if requested and fee paid)

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1. ☐ Show to whom delivered, date, and addressee's address. 2. ☐ Restricted Delivery.

3. Article Addressed to:

M. J. O'Neill  
25 Seven Lakes Rd  
Sloatsburg NY 10974

4. Article Number

Type of Service:

- ☐ Registered ☐ Insured  
☐ Certified ☐ COD  
☐ Express Mail

Always obtain signature of addressee or agent and **DATE DELIVERED**.

5. Signature — Addressee

X

6. Signature — Agent

X

7. Date of Delivery

9/24/87

8. Addressee's Address (ONLY if requested and fee paid)

PS Form 3811, Feb. 1986

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1. ☒ Show to whom delivered, date, and addressee's address. 2. ☐ Restricted Delivery.

3. Article Addressed to:

Frank D. Purdy &  
Dwight M. Townsend & James Husted  
RD 2, Rt. 94, Box 108  
Newburgh, NY 12550

4. Article Number

P412-286-136

Type of Service:

- ☒ Registered ☐ Insured  
☒ Certified ☐ COD  
☐ Express Mail

Always obtain signature of addressee or agent and **DATE DELIVERED**.

5. Signature — Addressee

X

6. Signature — Agent

X

7. Date of Delivery

9-24-87 Rf RD2

8. Addressee's Address (ONLY if requested and fee paid)

PS Form 3811, Feb. 1986

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1. ☐ Show to whom delivered, date, and addressee's address. 2. ☐ Restricted Delivery.

3. Article Addressed to:

Rose Marie Gambino  
Box 271 Birch Dr +  
Riley Road  
New Windsor Ny 12550

4. Article Number

Type of Service:

- ☐ Registered ☐ Insured  
☐ Certified ☐ COD  
☐ Express Mail

Always obtain signature of addressee or agent and **DATE DELIVERED**.

5. Signature — Addressee

X *Rose Gambino*

6. Signature — Agent

X

7. Date of Delivery

9-26-87

8. Addressee's Address (ONLY if requested and fee paid)

PS Form 3811, Feb. 1986

DOMESTIC RETURN RECEIPT

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1. ☐ Show to whom delivered, date, and addressee's address. 2. ☐ Restricted Delivery.

3. Article Addressed to:

Frederick Donald & Rosemarie Werne  
P.O. Box 156  
Vails Gate, New York 12584

4. Article Number

Type of Service:

- ☐ Registered ☐ Insured  
☐ Certified ☐ COD  
☐ Express Mail

Always obtain signature of addressee or agent and **DATE DELIVERED**.

5. Signature — Addressee

X *Rose Werne*

6. Signature — Agent

X

7. Date of Delivery

SEP 26 1987

8. Addressee's Address (ONLY if requested and fee paid)

PS Form 3811, Feb. 1986

DOMESTIC RETURN RECEIPT

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1. ☐ Show to whom delivered, date, and addressee's address. 2. ☐ Restricted Delivery.

3. Article Addressed to:

Karl & Alice Kullberg  
P.O. Box 282  
Vails Gate Ny 12584

4. Article Number

Type of Service:

- ☐ Registered ☐ Insured  
☐ Certified ☐ COD  
☐ Express Mail

Always obtain signature of addressee or agent and **DATE DELIVERED**.

5. Signature — Addressee

X *Karl Kullberg*

6. Signature — Agent

X

7. Date of Delivery

SEP 26 1987

8. Addressee's Address (ONLY if requested and fee paid)

PS Form 3811, Feb. 1986

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1. ☐ Show to whom delivered, date, and addressee's address. 2. ☐ Restricted Delivery.

3. Article Addressed to:  
*Alice & Mary Mula*  
*Box 282*  
*Vails Gate NY 12584*

4. Article Number

Type of Service:  
☐ Registered ☐ Insured  
☐ Certified ☐ COD  
☐ Express Mail

Always obtain signature of addressee or agent and **DATE DELIVERED.**

5. Signature — Addressee  
*X*

6. Signature — Agent  
*X X Karl Kullberg*

7. Date of Delivery  
*SEP 26 1987*

8. Addressee's Address (ONLY if requested and fee paid)

PS Form 3811, Feb. 1986

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1. ☐ Show to whom delivered, date, and addressee's address. 2. ☐ Restricted Delivery.

3. Article Addressed to:  
*Bryant & Ella Harris*  
*Box 525*  
*Vails Gate, NY 12584*

4. Article Number

Type of Service:  
☐ Registered ☐ Insured  
☐ Certified ☐ COD  
☐ Express Mail

Always obtain signature of addressee or agent and **DATE DELIVERED.**

5. Signature — Addressee  
*X Ella Mae Harris*

6. Signature — Agent  
*X*

7. Date of Delivery  
*9/28/87*

8. Addressee's Address (ONLY if requested and fee paid)

PS Form 3811, Feb. 1986

DOMESTIC RETURN RECEIPT

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1. ☒ Show to whom delivered, date, and addressee's address. 2. ☐ Restricted Delivery.

3. Article Addressed to:  
*Alton & Alice Peterson*  
*RD 2, Riley Road*  
*New Windsor, NY 12550*

4. Article Number  
*P412-286-141*

Type of Service:  
☐ Registered ☐ Insured  
☒ Certified ☐ COD  
☐ Express Mail

Always obtain signature of addressee or agent and **DATE DELIVERED.**

5. Signature — Addressee  
*X Karen H. Rose*

6. Signature — Agent  
*X*

7. Date of Delivery  
*9-25-87*

8. Addressee's Address (ONLY if requested and fee paid)

PS Form 3811, Feb. 1986

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1. ☒ Show to whom delivered, date, and addressee's address. 2. ☐ Restricted Delivery.

3. Article Addressed to:  Leslie M. & Elizabeth P. Sweeney 373 Undercliff Avenue Edgewater, NJ 07020  DEAN HILL ROAD RD 2 NEWBURGH NY 12550	4. Article Number <b>P-412 286 137</b>  Type of Service: <input type="checkbox"/> Registered <input type="checkbox"/> Insured <input checked="" type="checkbox"/> Certified <input type="checkbox"/> COD <input type="checkbox"/> Express Mail
5. Signature — Addressee X <i>[Signature]</i>	Always obtain signature of addressee or agent and <b>DATE DELIVERED</b> .  8. Addressee's Address (ONLY if requested and fee paid)
6. Signature — Agent X	
7. Date of Delivery <b>9-28-87</b>	

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1. ☒ Show to whom delivered, date, and addressee's address. 2. ☐ Restricted Delivery.

3. Article Addressed to:  David & Helen Barasky RD 2 Riley Rd. New Windsor, NY 12550	4. Article Number <b>P-412 286 145</b>  Type of Service: <input type="checkbox"/> Registered <input type="checkbox"/> Insured <input checked="" type="checkbox"/> Certified <input type="checkbox"/> COD <input type="checkbox"/> Express Mail
5. Signature — Addressee X <i>Helen Barasky</i>	Always obtain signature of addressee or agent and <b>DATE DELIVERED</b> .  8. Addressee's Address (ONLY if requested and fee paid)
6. Signature — Agent X	
7. Date of Delivery <b>9-28-87</b>	

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1. ☐ Show to whom delivered, date, and addressee's address. 2. ☐ Restricted Delivery.

3. Article Addressed to:  Kay Kueber 43 Knox Drive New Windsor NY 12550	4. Article Number  Type of Service: <input type="checkbox"/> Registered <input type="checkbox"/> Insured <input type="checkbox"/> Certified <input type="checkbox"/> COD <input type="checkbox"/> Express Mail
5. Signature — Addressee X <i>K. Kueber</i>	Always obtain signature of addressee or agent and <b>DATE DELIVERED</b> .  8. Addressee's Address (ONLY if requested and fee paid)
6. Signature — Agent X	
7. Date of Delivery <b>9/24/87</b>	

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1. ☒ Show to whom delivered, date, and addressee's address.

2. ☐ Restricted Delivery.

3. Article Addressed to:

*Mac Maceli  
RD 2 Riley Rd  
New Windsor NY  
12550*

4. Article Number

*R542028484*

Type of Service

☐ Registered

☐ Insured

☐ Certified

☐ COD

☐ Express Mail

Always obtain signature of addressee or agent and **DATE DELIVERED**.

5. Signature -- Addressee

*X*

6. Signature -- Agent

*X*

7. Date of Delivery

8. Addressee's Address (ONLY if requested and fee paid)

PS Form 3811, Feb. 1986

**DOMESTIC RETURN RECEIPT**

BENEDICT POND ESTATES SUBDIVISION (86-82)

Mr. Dave Clouser came before the Board representing this proposal along with Mr. Petrone.

Mr. Petrone: I am the owner of the property.

Mr. Scheible: State your case Mr. Clouser.

Mr. Clouser: This is the 13 plus acre subdivision that we were here for back in March for sketch plan approval. We are back now with the preliminary plan. We have received Mark's comments. Those brought about something a little easier to look at here. We have public sewer that will be extended. There is existing public sewer out there. That will be extended to serve these lots, approximately 1400 feet of sewer. We have grouped the driveways together to common access points on these sidelines to gain more spacing intervals between the drives, 200 plus feet between the drives with this arrangement. Also developing some restrictions and covenants for the lots too protecting the amount of tree removal that's involved in the lots off Dean Hill Road.

Mr. Scheible: Is there a pond in there at all?

Mr. Clouser: The pond is about 500 plus feet over this way. This red is the sewer extension for the lots. It's an existing sewer, sewer district number 19. There is also the forced main sewer that pumps back and then becomes gravel at this point going on down Dean Hill.

Mr. Mc Carville: Is this lot part of this, this is your property as well?

Mr. Petrone: No, this is property of a related company and some other people. Parts of it belong to other people not related.

Mr. Reys: Are you aware of the review comments of our engineer?

Mr. Clouser: Yes.

Mr. Scheible: Do you have a copy?

Mr. Clouser: Yes, I do.

Mr. Scheible: I have driven around there quite a few times already and taken a look.

Mr. Clouser: Twenty-five foot, sir, is firm. The center line, the deed goes out to the center line. It will be 50 feet.

Mr. Scheible: It is quite a steep hill coming off this area, isn't it coming up those driveways, coming up here, it is quite steep going into the side of the hill. Do you plan on making any great changes in there at all?

Mr. Clouser: Minimal. We are looking more to split level house to fit the lots, something of a basement garage type.

Mr. Scheible: It comes in there pretty steep.

Mr. Petrone: We may want to, actually at some point we will ask the Board's support in suggesting some restrictive covenants to the houses into the tree protection. Perhaps we may stipulate in these, with a walk out basement or garage as the underneath the house. The group would like to see it that way. Perhaps it can be enforced or written right in the subdivision plan.

Mr. Scheible: This whole area that's been field right?

Mr. Clouser: Yes.

Mr. Scheible: Then you get wooded area over the top of this hill here.

Mr. Petrone: We would like to discuss some covenants and to see as to what extent the Board can assist in protecting those trees. We have some suggestions.

Mr. Clouser: This is the access for the sewer house on the big lot, the one on top. This would be an easement of 20 foot wide easement for lateral surface.

Mr. Mc Carville: Who would maintain that?

Mr. Clouser: That would be the owner by agreement. It will be running on the lot line. That would be the side yard for any maintenance whatever. It would be centered on the lot line.

Mr. Mc Carville: Where is your sewer hookup coming in from this side for lots number 12, 11, 9, where does the sewer come in there?

Mr. Clouser: This is an extension from a gravity sewer, the manhole is down here on Mt. Airy Road. It runs along the right of way of Dean Hill Road. They will be extended, that sewer. The lateral surface off that. Work out the grade. The depth of the sewer varies from 7 to 13 feet deep. All of the homes can be picked up by gravity.

Mr. Reynolds: What are the size of the lots?

Mr. Clouser: They vary from I believe the smallest is about a tenth of an acre and the large one here is 2.6 acres. The minimum is 3/4 of an acre.

Mr. Jones: Where is the design on your storm drainage, where is that going to wind up?

Mr. Clouser: Storm drainage would be the culverts for the driveways, individual culverts, the drainage now is flowing off towards the road in all directions.

Mr. Jones: You are going to be adding more with your driveways and everything else. Where would the final disposition of that water go, that's what I want to know. You could put it down in the road, yes, but if there is a big heavy rain and the road doesn't take it, where will it go. Somebody else's property because you've got a hill here.

Mr. Clouser: This would be less dense as far as pervious area than many subdivisions. Just by the larger lots.

Mr. Jones: My reason for asking, I don't want to see you go in there and put in a storm drainage system that's going to cause problems for somebody else when we've got a water supply over here just up the road a little ways.

Mr. Scheible: What is the the adjacent owners and I note there is 57 plus acres that are going to be developed at a future time?

Mr. Petrone: I have discussed this and we have been contemplating the assembly of that land and there is some understanding with the previous owners that in order to clarify the issues of the availability of that land and any conditions of the pond. I contacted Michael Marwin of DEC and I requested because he even negotiated or discussing their position in relation to that pond. I have been through several sad surprises from the DEC involved with the thing. So DEC responded with the letter and on the business that we are proceeding, you see there is some assembly, some land that is not, there is another lot that belongs to somebody else. We don't anticipate, I may even decide to go and live here at some point. We will not anticipate to go there or even plan anything for at least two years. Depending on whatever land we wind up with.

Mr. Scheible: You've got a copy of our engineer's review, comments.

Mr. Reyns: I don't really approve of lot 13 and lot 1. I don't like these triangular lots in plans. I think they're, something can be done about that. Your coming from 75 feet to the end of this with a 72 feet or 75 feet whatever it is to the back. The back doesn't---

Mr. Ronen: That's a flag lot.

Mr. Reyns: We don't like flag lots in the first place.

Mr. Scheible: You could protect that crop of trees by just making some of these lots larger, and eliminating 13, is that what you mean Henry?

Mr. Reyns: Yes.

Mr. Scheible: It would be nicer to have larger lots in there since you have that crop of trees.

Mr. Petrone: I believe we already exceed the bulk limitations with single lots.

Mr. Scheible: We don't like flag lots.

Mr. Petrone: This was rules not to be a flag lot by two board meetings. This lot is three times the size of the bulk requirement. In addition to that I mean there is deliberate intent to keep this field up on top as intact as possible.

Mr. Scheible: The first one was loaded with flag lots.

Mr. Petrone: We took them all out.

Mr. Scheible: This isn't really that bad.

Mr. Clouser: This is a beautiful lot up here with the view.

Mr. Petrone: We did it deliberate, not to push the lots in the back to try and

keep this field whole.

Mr. Scheible: Is that the row of pine trees going down through there?

Mr. Petrone: Yes, that's right.

Mr. Clouser: We looked at other ways of doing it. We were ending up with deep back yards in this beautiful area on top where the views were becoming the back line.

Mr. Scheible: Does that drop off this way, does it pitch?

Mr. Petrone: It keeps rising slightly and stays basically flat. Then when it gets closer to the pond.

Mr. Scheible: You can't see the pond from here.

Mr. Petrone: No, we wanted to ask, I have a suggestion. We wanted to include a covenant in those lots, lot 9 through 13, well, really not 13, 9 through 12 indicating that construction, I mean tree removal or trees cannot be cut for any more land 50 feet in the rear yard, 40 or 30 feet from the front, in the front yard and 15 feet on the side from the house. It's tentative thing to give the owner freedom to move his house more or less where he wants but still to minimize the tree cutting. I don't know if this can be, it's a suggestion. If it cannot be included in this subdivision plan by the Board they we will restrict it by restrictive covenant. It would be nicer if it were included, if it was a restriction it would be more enforceable. But I don't know what the Board is willing to do.

Mr. Bones: I think it would be fine to include it as map notes, the kind of restrictions that you think would be helpful for the subdivision.

Mr. Petrone: It's really, this cluster of trees is continuous. It should be protected as much as we would like to keep it that way. We have that idea. There may be another way of doing it. I don't know. In terms of what the Board also will welcome some rotation in the terms of nature of the building or house or should it be a private covenant?

Mr. Scheible: Are you going to do the building yourself?

Mr. Petrone: I doubt it.

Mr. Scheible: You are only selling the lots?

Mr. Petrone: I believe so. I have not finalized this.

Mr. Scheible: As far as I am concerned I don't want to see any modulars. I don't know how the rest of the Board feels.

Mr. Petrone: We would rather not see any bi-levels.

Mr. Bones: Even though that is something that we really don't have present authority to do. I mean it's fine for you as developers and private parties to make whatever restrictions you think are helpful for the marketing of the subdivision and we might think that they are fine from a planning point of view



too but it is really not appropriate for us to impose upon you an architectural review.

Mr. Petrone: Then the Board would welcome restrictions on the trees or on the landscaping, lets say, but not on the building?

Mr. Scheible: Yes.

Mr. Petrone: We can cover that with private covenants.

Mr. Rones: We don't want to discourage you from putting restrictions on the building we can't tell you to do it either.

Mr. Petrone: Right. We understand the position. We will include some landscaping and environmental notes in there and we will cover the rest.

Mr. Edsall: I think it might be appropriate that the Board look at toward setting the public hearing as required and as well take some SEQR action if we want to determine yourself lead agency. We do have a short form EAF filed.

Mr. Scheible: Here is a points, listen to this one. The Benedict Pond Estates was disapproved by the Bureau of Fire Prevention for the following reasons and this really throws a monkey wrench into a lot of other things that we have been approving. They want the driveways to be separated. The drainage, you have one culvert underneath this driveway, it's easier to maintain.

Mr. Schiefer: I don't understand why they would object on that basis.

Mr. Rones: Maybe on the assumption if it were blocked, you can block two houses.

Mr. Esbcock: What he told me on the other building why they want two accesses, if one is blocked then they can get to the building.

Mr. Scheible: We do have to make sure they can get to the building. We do have the short environmental assessment form on record. The Bureau of Fire Prevention, and this goes back further, it is strongly recommended that until water is available for fire, but that we went over that before. That the project be rejected, however, it is only a recommendation due to the multi-family dwellings. Also does the road meet present Town specifications. We reviewed that before. Mr. Fayo was concerned where driveway locations will be. He should get in touch with the fire department then.

Mr. Jones: Mr. Chairman, I asked a question before, I didn't get an answer. Nobody wants to answer me. Every developer comes in and wants to build. I asked where the storm water is going. I didn't get no answer. What's the final disposition of the storm water. You can't create a problem for somebody else with your storm water because you have got all these driveways, all that water running out there.

Mr. Schiefer: It's all coming out to the road.

Mr. Jones: I would like to get an answer by that.

Mr. Clouser: To make a determination of how much an impact the paved surface will increase the runoff rate.

Mr. Jones: Right now water is being absorbed in the ground. Nothing going out in the road, only what is on the ground. But you are going to create a problem with the driveways and all, the roofs, everything else.

Mr. Clouser: Certainly there must be some water in the ditches along the road now just from the natural runoff.

Mr. Jones: That is where you intend to---

Mr. Scheible: There are, in this area, there are a lot of wet areas along that road. I am recollecting, I remember driving out there after a storm or in the winter months. There is a lot of water running off the road. The road condition is pretty poor. The drainage situation along that whole stretch there is in poor condition. The closer you get to 94, it gets even worse. There is a lot of water running right off. It's Mt. Airy Road. Even in this area, water is coming, during the stormy period or a wet season, water does pass right over the top of the road. The culverts are not, aren't carrying what's there now. I think only because it needs to be guttered out in there and it's never been done.

Mr. Clouser: Deep in the ditch as such.

Mr. Scheible: Am I right or wrong, you are up in that area more than I am.

Mr. Clouser: We don't want to cause any problems for anyone downstream.

Mr. Jones: I think you should answer one way or the other.

Mr. Schiefer: There is going to be some help with the retention of trees. But it is going to be more difficult now with the buildings and driveways.

Mr. Reynolds: Is this phase 1 of a larger development?

Mr. Petrone: No, it isn't.

Mr. Reynolds: It states in here that it is.

Mr. Petrone: Well, I think the engineer read it to be that way, but it's not.

Mr. Reynolds: This is all you intend to develop, right, at least for the next few years?

Mr. Petrone: We don't even have assembled any land. We only have control of some land around the pond. And I have raised the question with DEC, precisely to see if that pond was restricted in any manner and to what extent.

Mr. Mc Carville: You control some land around the pond?

Mr. Petrone: The company I represent, yes, as a corporation.

Mr. Mc Carville: They own this?

Mr. Petrone: Pardon?

Mr. Mc Carville: That's just what we are saying. It may be exactly what we are saying.

Mr. Scheible: Gentleman, at this time we have to make a clarification as to the lead agency. I need approval.

Mr. Reyns: I will make a motion that we become the lead agency.

Mr. Jones: I second it.

Mr. Scheible: We have a motion and it was seconded that the New Windsor Planning Board declare itself as lead agency. Is there any further discussion? If not, we will have a roll call.

ROLL CALL: ALL AYES

Mr. Ronen: In connection with the SEQR process since woodlands and matured trees have been identified as being prevalent on the project site, before making a determination as to whether this should be a positive or negative declaration, I think it would be appropriate to have the applicant submit the proposed covenants and restrictions or map notes to protect those terrain features, any woodlands in that area and then we can perhaps determine if those would be satisfactory to mitigate the impact of this project on the woodland areas there.

Mr. Edsall: I would like to think it appropriate that we look for a long term EAF. I don't believe there is going to be any third party to it. Mainly just so we can identify the acreage for each type of ground covering.

Mr. Scheible: Do you have that?

Mr. Edsall: They have a short form on file, they will have to give us a long one.

Mr. Scheible: Also, we have to set up a public hearing. How much time do you think you are going to need, Mr. Clouser?

Mr. Clouser: When is your next meeting? You see there is a ten day notice, published notice.

Mr. Scheible: Right. Let's go for, would you have it ready by the second meeting of September?

Mr. Clouser: Yes.

Mr. Scheible: That's--

Mr. Edsall: That would be the 23rd of September, I am sure you understand the procedure.

Mr. Clouser: Yes, I do. Going through the list of comments that many of these are for the final map, am I making some assumptions that I should not make?

Mr. Scheible: Say that again?

Mr. Clouser: Looking at many of the comments, it looks like some of these or

most of these comments are applied to the final map. Is there anything else that we should--

Mr. Scheible: Yes, there is two pages in that, you realize that. Do you have both pages there?

Mr. Clouser: Yes.

Mr. Scheible: Are there any other comments are you saying?

Mr. Scheifer: I think at this point he has got a good point. I think you should make an attempt to mention the drainage problem. I think not on here. I don't know the solution, but there are different ways of doing it. Give some kind of assessment, how much drainage is going to be coming off.

Mr. Scheible: You will get more information at the public hearing. I am sure of that.

Mr. Clouser: Sewer plans will be coming after the public hearing, also. The status on the restrictions from the DEC on extensions for the sewer district, I am not aware of that.

Mr. Edsall: It is still in effect. There is the potential, hopefully shortly that will be lifted to a certain extent due to the fact that the treatment plant has been meeting the speediest permit, at least at this point.

Mr. Jones: What's the section you are talking about?

Mr. Petrone: What is the condition now? What is the restriction?

Mr. Scheible: The restriction is on the entire Town to make any extension to the sewer collection. I think we've got everything that we need from you. If there is any further questions, you can get in touch with either the building inspector or Mr. Edsall himself.

Mr. Edsall: Have they given sketch plan approval? Sketch plan approval before they can schedule a public hearing. It might be at least wise to grant them sketch plan approval so that they have 45 days basically to get in.

Mr. Schiefer: There is a basic comment, if they address all the requirements to put up --

Mr. Edsall: Understanding the Board, that there is three different approvals that you will grant to a subdivision. Sketch plan approval, preliminary and final.

Mr. Schiefer: I vote we give a sketch plan approval on the Benedict Pond Estates Subdivision. I make a motion that we do.

Mr. Mc Carville: Seconded.

Mr. Scheible: We have a motion and it was seconded that the sketch plan approval be granted for Benedict Pond Estates. Is there any further discussion? If not roll call:

ROLL CALL:	MR. MC CARVILLE	AYE
	MR. REYNS	NAY
	MR. LANDER	AYE
	MR. JONES	AYE

Mr. Schiefer: Before I vote, may I ask why, Henry? I am not objecting I am just curious.

Mr. Reyns: Well, I have objections to the plans. Number 1, I think that it's been indicated by the engineer and conservation department there that there is another building to be done later and it's not being brought forth, I just feel that that makes my feeling no. Until those things are cleared up.

Mr. Schiefer: Sketch plan, you have still got to meet the engineering.

Mr. Reyns: I know the sketch plan. I am saying I just don't approve.

MR. SCHIEFER	AYE
MR. SCHEIBLE	AYE

State Environmental Quality Review  
**FULL ENVIRONMENTAL ASSESSMENT FORM**

**Purpose:** The full EAF is designed to help applicants and agencies determine, in an orderly manner, whether a project or action may be significant. The question of whether an action may be significant is not always easy to answer. Frequently, there are aspects of a project that are subjective or unmeasurable. It is also understood that those who determine significance may have little or no formal knowledge of the environment or may be technically expert in environmental analysis. In addition, many who have knowledge in one particular area may not be aware of the broader concerns affecting the question of significance.

The full EAF is intended to provide a method whereby applicants and agencies can be assured that the determination process has been orderly, comprehensive in nature, yet flexible to allow introduction of information to fit a project or action.

**Full EAF Components:** The full EAF is comprised of three parts:

- Part 1:** Provides objective data and information about a given project and its site. By identifying basic project data, it assists a reviewer in the analysis that takes place in Parts 2 and 3.
- Part 2:** Focuses on identifying the range of possible impacts that may occur from a project or action. It provides guidance as to whether an impact is likely to be considered small to moderate or whether it is a potentially-large impact. The form also identifies whether an impact can be mitigated or reduced.
- Part 3:** If any impact in Part 2 is identified as potentially-large, then Part 3 is used to evaluate whether or not the impact is actually important.

**DETERMINATION OF SIGNIFICANCE—Type 1 and Unlisted Actions**

**Identify the Portions of EAF completed for this project:** ☐ Part 1 ☐ Part 2 ☐ Part 3

Upon review of the information recorded on this EAF (Parts 1 and 2 and 3 if appropriate), and any other supporting information, and considering both the magnitude and importance of each impact, it is reasonably determined by the lead agency that:

- ☐ A. The project will not result in any large and important impact(s) and, therefore, is one which **will not** have a significant impact on the environment, therefore **a negative declaration will be prepared.**
- ☐ B. Although the project could have a significant effect on the environment, there will not be a significant effect for this Unlisted Action because the mitigation measures described in PART 3 have been required, therefore **a CONDITIONED negative declaration will be prepared.\***
- ☐ C. The project may result in one or more large and important impacts that may have a significant impact on the environment, therefore **a positive declaration will be prepared.**

\* A Conditioned Negative Declaration is only valid for Unlisted Actions

Unlisted Action

Name of Action

Town of New Windsor-Planning Board

Name of Lead Agency

Henry F. Scheible

Chairman-Planning Board

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (If different from responsible officer)

Date

# PART 1—PROJECT INFORMATION

## Prepared by Project Sponsor

NOTICE: This document is designed to assist in determining whether the action proposed may have a significant effect on the environment. Please complete the entire form, Parts A through E. Answers to these questions will be considered as part of the application for approval and may be subject to further verification and public review. Provide any additional information you believe will be needed to complete Parts 2 and 3.

It is expected that completion of the full EAF will be dependent on information currently available and will not involve new studies, research or investigation. If information requiring such additional work is unavailable, so indicate and specify each instance.

NAME OF ACTION <b>Benedict Pond Estates</b>		
LOCATION OF ACTION (Include Street Address, Municipality and County) <b>New Windsor, New York Orange County-Section 65 Block 1 Lot 51.2</b>		
NAME OF APPLICANT/SPONSOR <b>Michael Petrone</b>		BUSINESS TELEPHONE ( )
ADDRESS <b>RD #1 Box 6730</b>		
CITY/PO <b>Monroe</b>	STATE <b>NY</b>	ZIP CODE <b>10950</b>
NAME OF OWNER (If different)		BUSINESS TELEPHONE ( )
ADDRESS		
CITY/PO	STATE	ZIP CODE
DESCRIPTION OF ACTION  A 13.68 acre parcel is to be subdivided into 13 residential lots. Each lot is to have public sewerage and individual wells.		

**Please Complete Each Question—Indicate N.A. if not applicable**

### A. Site Description

Physical setting of overall project, both developed and undeveloped areas.

1. Present land use: ☐ Urban ☐ Industrial ☐ Commercial ☐ Residential (suburban) ☐ Rural (non-farm) ☐ Forest ☐ Agriculture ☒ Other Currently undeveloped with wooded areas and fields.

2. Total acreage of project area: 13.68 acres.

APPROXIMATE ACREAGE	PRESENTLY	AFTER COMPLETION
* Meadow or Brushland (Non-agricultural)	<u>5.37</u> acres	<u>0</u> acres
Forested	<u>5.84</u> acres	<u>4.33</u> acres
Agricultural (Includes orchards, cropland, pasture, etc.)	<u>2.47</u> acres	<u>0</u> acres
Wetland (Freshwater or tidal as per Articles 24, 25 of ECL)	<u>0</u> acres	<u>0</u> acres
Water Surface Area	<u>0</u> acres	<u>0</u> acres
Unvegetated (Rock, earth or fill)	<u>0</u> acres	<u>0</u> acres
Roads, buildings and other paved surfaces	<u>0</u> acres	<u>0</u> acres
Other (Indicate type) _____	<u>0</u> acres	<u>0</u> acres

3. What is predominant soil type(s) on project site? Mardin Gravelly Silt Loam

- a. Soil drainage: ☐ Well drained \_\_\_\_\_ % of site ☒ Moderately well drained 100 % of site  
☐ Poorly drained \_\_\_\_\_ % of site

- b. If any agricultural land is involved, how many acres of soil are classified within soil group 1 through 4 of the NYS Land Classification System? 0 acres. (See 1 NYCRR 370).

4. Are there bedrock outcroppings on project site? ☒ Yes ☐ No

- a. What is depth to bedrock? 0-5' (in feet)

\* See Attachment 1 for additional information.

5. Approximate percentage of proposed project site with slopes: ☐ 0-10% 3.2 % ☐ 10-15% 24.6 %  
☐ 15% or greater 30.2 %
6. Is project substantially contiguous to, or contain a building, site, or district, listed on the State or the National Registers of Historic Places? ☐ Yes ☒ No
7. Is project substantially contiguous to a site listed on the Register of National Natural Landmarks? ☐ Yes ☒ No
8. What is the depth of the water table? 1.5 - 5.0 (in feet)
9. Is site located over a primary, principal, or sole source aquifer? ☐ Yes ☒ No
10. Do hunting, fishing or shell fishing opportunities presently exist in the project area? ☐ Yes ☒ No
11. Does project site contain any species of plant or animal life that is identified as threatened or endangered?  
☐ Yes ☒ No According to \_\_\_\_\_  
Identify each species \_\_\_\_\_
12. Are there any unique or unusual land forms on the project site? (i.e., cliffs, dunes, other geological formations)  
☐ Yes ☒ No Describe \_\_\_\_\_
13. Is the project site presently used by the community or neighborhood as an open space or recreation area?  
☐ Yes ☒ No If yes, explain \_\_\_\_\_
14. Does the present site include scenic views known to be important to the community?  
☐ Yes ☒ No
15. Streams within or contiguous to project area: None  
a. Name of Stream and name of River to which it is tributary \_\_\_\_\_
16. Lakes, ponds, wetland areas within or contiguous to project area: None  
a. Name \_\_\_\_\_ b. Size (In acres) \_\_\_\_\_
17. Is the site served by existing public utilities? ☒ Yes ☐ No  
a) If Yes, does sufficient capacity exist to allow connection? ☒ Yes ☐ No  
b) If Yes, will improvements be necessary to allow connection? ☒ Yes ☐ No
18. Is the site located in an agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? ☐ Yes ☒ No
19. Is the site located in or substantially contiguous to a Critical Environmental Area designated pursuant to Article 8 of the ECL, and 6 NYCRR 617? ☐ Yes ☒ No
20. Has the site ever been used for the disposal of solid or hazardous wastes? ☐ Yes ☒ No

## B. Project Description

1. Physical dimensions and scale of project (fill in dimensions as appropriate)
- Total contiguous acreage owned or controlled by project sponsor 13.68 acres.
  - Project acreage to be developed: 0 acres initially; 3.44 acres ultimately.
  - Project acreage to remain undeveloped 10.24 acres.
  - Length of project, in miles: n/a (If appropriate)
  - If the project is an expansion, indicate percent of expansion proposed \_\_\_\_\_ %;
  - Number of off-street parking spaces existing \_\_\_\_\_; proposed \_\_\_\_\_
  - Maximum vehicular trips generated per hour 6 (upon completion of project)?
  - If residential: Number and type of housing units:  

	One Family	Two Family	Multiple Family	Condominium
Initially	<u>0</u>			
Ultimately	<u>13</u>			
  - Dimensions (in feet) of largest proposed structure 25 height; 40 width; 80 length.
  - Linear feet of frontage along a public thoroughfare project will occupy is? 1884 ft.



2. How much natural material (i.e., rock, earth, etc.) will be removed from the site? 0 tons/cubic yards
3. Will disturbed areas be reclaimed? ☐ Yes ☒ No ☐ N/A
  - a. If yes, for what intended purpose is the site being reclaimed? \_\_\_\_\_
  - b. Will topsoil be stockpiled for reclamation? ☒ Yes ☐ No
  - c. Will upper subsoil be stockpiled for reclamation? ☒ Yes ☐ No
4. How many acres of vegetation (trees, shrubs, ground covers) will be removed from site? 3.44 acres.
5. Will any mature forest (over 100 years old) or other locally-important vegetation be removed by this project? ☐ Yes ☒ No
6. If single phase project: Anticipated period of construction 12 months, (including demolition).
7. If multi-phased:
  - a. Total number of phases anticipated \_\_\_\_\_ (number).
  - b. Anticipated date of commencement phase 1 \_\_\_\_\_ month \_\_\_\_\_ year, (including demolition).
  - c. Approximate completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year.
  - d. Is phase 1 functionally dependent on subsequent phases? ☐ Yes ☐ No
8. Will blasting occur during construction? ☐ Yes ☒ No
9. Number of jobs generated: during construction 10; after project is complete 0
10. Number of jobs eliminated by this project 0
11. Will project require relocation of any projects or facilities? ☐ Yes ☒ No If yes, explain \_\_\_\_\_
12. Is surface liquid waste disposal involved? ☐ Yes ☒ No
  - a. If yes, indicate type of waste (sewage, industrial, etc.) and amount \_\_\_\_\_
  - b. Name of water body into which effluent will be discharged \_\_\_\_\_
13. Is subsurface liquid waste disposal involved? ☐ Yes ☒ No Type \_\_\_\_\_
14. Will surface area of an existing water body increase or decrease by proposal? ☐ Yes ☒ No  
Explain \_\_\_\_\_
15. Is project or any portion of project located in a 100 year flood plain? ☐ Yes ☒ No
16. Will the project generate solid waste? ☒ Yes ☐ No
  - a. If yes, what is the amount per month 2 tons
  - b. If yes, will an existing solid waste facility be used? ☒ Yes ☐ No
  - c. If yes, give name Orange County Sanitary Landfill location Middletown, New York
  - d. Will any wastes **not** go into a sewage disposal system or into a sanitary landfill? ☐ Yes ☒ No
  - e. If Yes, explain \_\_\_\_\_
17. Will the project involve the disposal of solid waste? ☒ Yes ☐ No
  - a. If yes, what is the anticipated rate of disposal? 2 tons/month.
  - b. If yes, what is the anticipated site life? n/a years.
18. Will project use herbicides or pesticides? ☐ Yes ☒ No
19. Will project routinely produce odors (more than one hour per day)? ☐ Yes ☒ No
20. Will project produce operating noise exceeding the local ambient noise levels? ☐ Yes ☒ No
21. Will project result in an increase in energy use? ☒ Yes ☐ No  
If yes, indicate type(s) Electricity
22. If water supply is from wells, indicate pumping capacity 5 gallons/minute.
23. Total anticipated water usage per day 4000± gallons/day.
24. Does project involve Local, State or Federal funding? ☐ Yes ☒ No  
If Yes, explain \_\_\_\_\_

## 25. Approvals Required:

Type

Submittal  
Date

City, Town, Village Board	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<del>City</del> , Town, <del>Village</del> Planning Board	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
City, Town Zoning Board	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<del>City</del> , County Health Department	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Other Local Agencies	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Other Regional Agencies	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
State Agencies	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Federal Agencies	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Subdivision ApprovalWater Supply**C. Zoning and Planning Information**1. Does proposed action involve a planning or zoning decision? ☒ Yes ☐ No

If Yes, indicate decision required:

☐ zoning amendment ☐ zoning variance ☐ special use permit ☒ subdivision ☐ site plan  
☐ new/revision of master plan ☐ resource management plan ☐ other \_\_\_\_\_

2. What is the zoning classification(s) of the site? R-3

3. What is the maximum potential development of the site if developed as permitted by the present zoning?

Current zoning allows for single & two family development with minimum lot sizes of  
75 acres & 1.5 acres respectfully.

4. What is the proposed zoning of the site? R-35. What is the maximum potential development of the site if developed as permitted by the proposed zoning?  
same6. Is the proposed action consistent with the recommended uses in adopted local land use plans? ☒ Yes ☐ No

7. What are the predominant land use(s) and zoning classifications within a ¼ mile radius of proposed action?

R-38. Is the proposed action compatible with adjoining/surrounding land uses within a ¼ mile? ☒ Yes ☐ No9. If the proposed action is the subdivision of land, how many lots are proposed? 13a. What is the minimum lot size proposed? .79 acres10. Will proposed action require any authorization(s) for the formation of sewer or water districts? ☐ Yes ☒ No11. Will the proposed action create a demand for any community provided services (recreation, education, police, fire protection)? ☒ Yes ☐ Noa. If yes, is existing capacity sufficient to handle projected demand? ☒ Yes ☐ No12. Will the proposed action result in the generation of traffic significantly above present levels? ☐ Yes ☒ Noa. If yes, is the existing road network adequate to handle the additional traffic? ☐ Yes ☐ No**D. Informational Details**

Attach any additional information as may be needed to clarify your project. If there are or may be any adverse impacts associated with your proposal, please discuss such impacts and the measures which you propose to mitigate or avoid them.

**E. Verification**

I certify that the information provided above is true to the best of my knowledge.

Applicant/Sponsor Name \_\_\_\_\_ Date \_\_\_\_\_

Signature \_\_\_\_\_ Title \_\_\_\_\_

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment.

## Part 2—PROJECT IMPACTS AND THEIR MAGNITUDE

Responsibility of Lead Agency

### General Information (Read Carefully)

- In completing the form the reviewer should be guided by the question: Have my responses and determinations been **reasonable**? The reviewer is not expected to be an expert environmental analyst.
- Identifying that an impact will be potentially large (column 2) does not mean that it is also necessarily **significant**. Any large impact must be evaluated in PART 3 to determine significance. Identifying an impact in column 2 simply asks that it be looked at further.
- The **Examples** provided are to assist the reviewer by showing types of impacts and wherever possible the threshold of magnitude that would trigger a response in column 2. The examples are generally applicable throughout the State and for most situations. But, for any specific project or site other examples and/or lower thresholds may be appropriate for a Potential Large Impact response, thus requiring evaluation in Part 3.
- The impacts of each project, on each site, in each locality, will vary. Therefore, the examples are illustrative and have been offered as guidance. They do not constitute an exhaustive list of impacts and thresholds to answer each question.
- The number of examples per question does not indicate the importance of each question.
- In identifying impacts, consider long term, short term and cumulative effects.

### Instructions (Read carefully)

- Answer each of the 19 questions in PART 2. Answer **Yes** if there will be **any** impact.
- Maybe** answers should be considered as **Yes** answers.
- If answering **Yes** to a question then check the appropriate box (column 1 or 2) to indicate the potential size of the impact. If impact threshold equals or exceeds any example provided, check column 2. If impact will occur but threshold is lower than example, check column 1.
- If reviewer has doubt about size of the impact then consider the impact as potentially large and proceed to PART 3.
- If a potentially large impact checked in column 2 can be mitigated by change(s) in the project to a small to moderate impact, also check the **Yes** box in column 3. A **No** response indicates that such a reduction is not possible. This must be explained in Part 3.

### IMPACT ON LAND

- \* 1. Will the proposed action result in a physical change to the project site?  
☐ NO ☒ YES

Examples that would apply to column 2

- Any construction on slopes of 15% or greater, (15 foot rise per 100 foot of length), or where the general slopes in the project area exceed 10%.
- Construction on land where the depth to the water table is less than 3 feet.
- Construction of paved parking area for 1,000 or more vehicles.
- Construction on land where bedrock is exposed or generally within 3 feet of existing ground surface.
- Construction that will continue for more than 1 year or involve more than one phase or stage.
- Excavation for mining purposes that would remove more than 1,000 tons of natural material (i.e., rock or soil) per year.
- Construction or expansion of a sanitary landfill.
- Construction in a designated floodway.
- Other impacts \_\_\_\_\_

2. Will there be an effect to any unique or unusual land forms found on the site? (i.e., cliffs, dunes, geological formations, etc.) ☒ NO ☐ YES
- Specific land forms: \_\_\_\_\_

1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated By Project Change
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

### IMPACT ON WATER

3. Will proposed action affect any water body designated as protected?  
(Under Articles 15, 24, 25 of the Environmental Conservation Law, ECL)  
☒ NO ☐ YES

**Examples** that would apply to column 2

- Developable area of site contains a protected water body.
- Dredging more than 100 cubic yards of material from channel of a protected stream.
- Extension of utility distribution facilities through a protected water body.
- Construction in a designated freshwater or tidal wetland.
- Other impacts: \_\_\_\_\_

4. Will proposed action affect any non-protected existing or new body of water?  
☒ NO ☐ YES

**Examples** that would apply to column 2

- A 10% increase or decrease in the surface area of any body of water or more than a 10 acre increase or decrease.
- Construction of a body of water that exceeds 10 acres of surface area.
- Other impacts: \_\_\_\_\_

5. Will Proposed Action affect surface or groundwater quality or quantity?  
☒ NO ☐ YES

**Examples** that would apply to column 2

- Proposed Action will require a discharge permit.
- Proposed Action requires use of a source of water that does not have approval to serve proposed (project) action.
- Proposed Action requires water supply from wells with greater than 45 gallons per minute pumping capacity.
- Construction or operation causing any contamination of a water supply system.
- Proposed Action will adversely affect groundwater.
- Liquid effluent will be conveyed off the site to facilities which presently do not exist or have inadequate capacity.
- Proposed Action would use water in excess of 20,000 gallons per day.
- Proposed Action will likely cause siltation or other discharge into an existing body of water to the extent that there will be an obvious visual contrast to natural conditions.
- Proposed Action will require the storage of petroleum or chemical products greater than 1,100 gallons.
- Proposed Action will allow residential uses in areas without water and/or sewer services.
- Proposed Action locates commercial and/or industrial uses which may require new or expansion of existing waste treatment and/or storage facilities.
- Other impacts: \_\_\_\_\_

6. Will proposed action alter drainage flow or patterns, or surface water runoff?  
☒ NO ☐ YES

**Examples** that would apply to column 2

- Proposed Action would change flood water flows.

1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated By Project Change	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
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<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
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<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No

- | <b>Small to Moderate Impact</b> | <b>2<br/>Potential Large Impact</b> | <b>3<br/>Can Impact Be Mitigated By Project Change</b> |                             |
|---------------------------------|-------------------------------------|--|-----------------------------|
| <input type="checkbox"/>        | <input type="checkbox"/>            | <input type="checkbox"/> Yes                           | <input type="checkbox"/> No |
| <input type="checkbox"/>        | <input type="checkbox"/>            | <input type="checkbox"/> Yes                           | <input type="checkbox"/> No |
| <input type="checkbox"/>        | <input type="checkbox"/>            | <input type="checkbox"/> Yes                           | <input type="checkbox"/> No |
| <input type="checkbox"/>        | <input type="checkbox"/>            | <input type="checkbox"/> Yes                           | <input type="checkbox"/> No |
| <br>                            |                                     |  |                             |
| <input type="checkbox"/>        | <input type="checkbox"/>            | <input type="checkbox"/> Yes                           | <input type="checkbox"/> No |
| <input type="checkbox"/>        | <input type="checkbox"/>            | <input type="checkbox"/> Yes                           | <input type="checkbox"/> No |
| <input type="checkbox"/>        | <input type="checkbox"/>            | <input type="checkbox"/> Yes                           | <input type="checkbox"/> No |
| <input type="checkbox"/>        | <input type="checkbox"/>            | <input type="checkbox"/> Yes                           | <input type="checkbox"/> No |
| <input type="checkbox"/>        | <input type="checkbox"/>            | <input type="checkbox"/> Yes                           | <input type="checkbox"/> No |
| <br>                            |                                     |  |                             |
| <input type="checkbox"/>        | <input type="checkbox"/>            | <input type="checkbox"/> Yes                           | <input type="checkbox"/> No |
| <input type="checkbox"/>        | <input type="checkbox"/>            | <input type="checkbox"/> Yes                           | <input type="checkbox"/> No |
| <input type="checkbox"/>        | <input type="checkbox"/>            | <input type="checkbox"/> Yes                           | <input type="checkbox"/> No |
| <input type="checkbox"/>        | <input type="checkbox"/>            | <input type="checkbox"/> Yes                           | <input type="checkbox"/> No |
| <br>                            |                                     |  |                             |
| <input type="checkbox"/>        | <input type="checkbox"/>            | <input type="checkbox"/> Yes                           | <input type="checkbox"/> No |
| <input type="checkbox"/>        | <input type="checkbox"/>            | <input type="checkbox"/> Yes                           | <input type="checkbox"/> No |
| <br>                            |                                     |  |                             |
| <input type="checkbox"/>        | <input type="checkbox"/>            | <input type="checkbox"/> Yes                           | <input type="checkbox"/> No |

## 8



## IMPACT ON TRANSPORTATION

14. Will there be an effect to existing transportation systems?

☒ NO      ☐ YES

**Examples** that would apply to column 2

- Alteration of present patterns of movement of people and/or goods.
- Proposed Action will result in major traffic problems.
- Other impacts: \_\_\_\_\_

## IMPACT ON ENERGY

15. Will proposed action affect the community's sources of fuel or energy supply? ☒ NO ☐ YES

☒ NO      ☐ YES

### Examples that would apply to column 2

- Proposed Action will cause a greater than 5% increase in the use of any form of energy in the municipality.
- Proposed Action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two family residences or to serve a major commercial or industrial use.
- Other impacts: \_\_\_\_\_

## NOISE AND ODOR IMPACTS

16. Will there be objectionable odors, noise, or vibration as a result of the Proposed Action? ☒ NO ☐ YES

☒ NO      ☐ YES

**Examples that would apply to column 2**

- Blasting within 1,500 feet of a hospital, school or other sensitive facility.
- Odors will occur routinely (more than one hour per day).
- Proposed Action will produce operating noise exceeding the local ambient noise levels for noise outside of structures.
- Proposed Action will remove natural barriers that would act as a noise screen.
- Other impacts: \_\_\_\_\_

## IMPACT ON PUBLIC HEALTH

**17. Will Proposed Action affect public health and safety?**

☒ NO      ☐ YES

**Examples** that would apply to column 2

- Proposed Action may cause a risk of explosion or release of hazardous substances (i.e. oil, pesticides, chemicals, radiation, etc.) in the event of accident or upset conditions, or there may be a chronic low level discharge or emission.
- Proposed Action may result in the burial of "hazardous wastes" in any form (i.e. toxic, poisonous, highly reactive, radioactive, irritating, infectious, etc.)
- Storage facilities for one million or more gallons of liquified natural gas or other flammable liquids.
- Proposed action may result in the excavation or other disturbance within 2,000 feet of a site used for the disposal of solid or hazardous waste.
- Other impacts: \_\_\_\_\_

1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated By Project Change
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
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<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
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<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

### IMPACT ON GROWTH AND CHARACTER OF COMMUNITY OR NEIGHBORHOOD

18. Will proposed action affect the character of the existing community?  
☒ NO ☐ YES

Examples that would apply to column 2

- The permanent population of the city, town or village in which the project is located is likely to grow by more than 5%.
- The municipal budget for capital expenditures or operating services will increase by more than 5% per year as a result of this project.
- Proposed action will conflict with officially adopted plans or goals.
- Proposed action will cause a change in the density of land use.
- Proposed Action will replace or eliminate existing facilities, structures or areas of historic importance to the community.
- Development will create a demand for additional community services (e.g. schools, police and fire, etc.)
- Proposed Action will set an important precedent for future projects.
- Proposed Action will create or eliminate employment.
- Other impacts: \_\_\_\_\_

1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated By Project Change
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

19. Is there, or is there likely to be, public controversy related to potential adverse environmental impacts?  
☒ NO ☐ YES

**If Any Action in Part 2 Is Identified as a Potential Large Impact or  
If You Cannot Determine the Magnitude of Impact, Proceed to Part 3**

## Part 3—EVALUATION OF THE IMPORTANCE OF IMPACTS

### Responsibility of Lead Agency

Part 3 must be prepared if one or more impact(s) is considered to be potentially large, even if the impact(s) may be mitigated.

#### Instructions

Discuss the following for each impact identified in Column 2 of Part 2:

1. Briefly describe the impact.
2. Describe (if applicable) how the impact could be mitigated or reduced to a small to moderate impact by project change(s).
3. Based on the information available, decide if it is reasonable to conclude that this impact is **important**.

To answer the question of importance, consider:

- The probability of the impact occurring
- The duration of the impact
- Its irreversibility, including permanently lost resources of value
- Whether the impact can or will be controlled
- The regional consequence of the impact
- Its potential divergence from local needs and goals
- Whether known objections to the project relate to this impact.

(Continue on attachments)



# Appendix B

## State Environmental Quality Review

### Visual EAF Addendum

This form may be used to provide additional information relating to Question 11 of Part 2 of the Full EAF.

(To be completed by Lead Agency)

Visibility	Distance Between Project and Resource (in Miles)				
	0-1/4	1/4-1/2	1/2-3	3-5	5+
1. Would the project be visible from:					
• A parcel of land which is dedicated to and available to the public for the use, enjoyment and appreciation of natural or man-made scenic qualities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• An overlook or parcel of land dedicated to public observation, enjoyment and appreciation of natural or man-made scenic qualities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• A site or structure listed on the National or State Registers of Historic Places?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• State Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• The State Forest Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• National Wildlife Refuges and state game refuges?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• National Natural Landmarks and other outstanding natural features?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• National Park Service lands?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Rivers designated as National or State Wild, Scenic or Recreational?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Any transportation corridor of high exposure, such as part of the Interstate System, or Amtrak?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• A governmentally established or designated interstate or inter-county foot trail, or one formally proposed for establishment or designation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• A site, area, lake, reservoir or highway designated as scenic?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Municipal park, or designated open space?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• County road?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• State?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Local road?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

2. Is the visibility of the project seasonal? (i.e., screened by summer foliage, but visible during other seasons)

☐ Yes      ☐ No

3. Are any of the resources checked in question 1 used by the public during the time of year during which the project will be visible?

☐ Yes      ☐ No

## Attachment 1

### EAF - Part I

#### A. Site Description

3. There is presently 5.37 acres of meadow within the parcel to be subdivided. Approximately 1.42 acres of this will be developed with the remainder to become lawn.

### EAF - Part 2

#### Impact on Land

1. Construction, which will consist of driveways and foundations, will be minimal as the project will develop 3.44 acres of the 13.68 acre parcel.

LEGAL NOTICE

NOTICE IS HEREBY GIVEN that the PLANNING BOARD of the TOWN OF NEW WINDSOR, County of Orange, State of New York will hold a PUBLIC HEARING at Town Hall, 555 Union Avenue, New Windsor, New York on October 14, 1987 at 7:30 p.m. on the approval of the proposed BENEDICT POND ESTATES, Subdivision of Lands of Mr. Michael Petrone, located at the corner of Mt. Airy Road and Dean Hill Road in the Town of New Windsor, New York. Map of the Subdivision of Lands is on file and may be inspected at the Town Clerk's Office, Town Hall, 555 Union Avenue, New Windsor, New York prior to the Public Hearing.

Dated: September 17, 1987

By Order Of

TOWN OF NEW WINDSOR PLANNING BOARD

Henry F. Scheible

Chairman

86-821

BUILDING INSPECTOR, P.B. ENGINEER, FIRE INSPECTOR, D.O.T. O.C.H. O.C.P.  
WATER, SEWER, HIGHWAY REVIEW FORM: D. P. W.

The maps and plans for the Site Approval \_\_\_\_\_  
Subdivision \_\_\_\_\_ as submitted by \_\_\_\_\_  
\_\_\_\_\_ for the building or subdivision of

BENEDICT POND ESTATES has been

reviewed by me and is ~~approved~~ DOES NOT AFFECT N.Y.S. DOT  
~~disapproved~~ all work on town roads

If disapproved, please list reason.

William Elger

HIGHWAY SUPERINTENDENT  
DOT PERMITS

\_\_\_\_\_  
WATER SUPERINTENDENT

\_\_\_\_\_  
SANITARY SUPERINTENDENT

\_\_\_\_\_  
DATE

BUILDING INSPECTOR, P.B. ENGINEER, FIRE INSPECTOR, D.O.T. O.C.H. O.C.P.  
WATER, SEWER, HIGHWAY REVIEW FORM: D. P. W.

The maps and plans for the Site Approval \_\_\_\_\_  
Subdivision \_\_\_\_\_ as submitted by  
Clark Eng. for the building or subdivision of  
Benedict Pond Estate has been  
reviewed by me and is approved ☒  
~~disapproved~~ \_\_\_\_\_.

~~If disapproved, please list reason.~~

There is no town water in this area.

\_\_\_\_\_  
HIGHWAY SUPERINTENDENT

James D. Davis  
WATER SUPERINTENDENT

\_\_\_\_\_  
SANITARY SUPERINTENDENT

\_\_\_\_\_  
DATE

BENEDICT POND  
86-82

NEWEST REVISION  
7/31/87

BUILDING INSPECTOR, P.B. ENGINEER,  
WATER, ~~SEWER~~, HIGHWAY REVIEW FORM:

The maps and plans for the Site Approval \_\_\_\_\_  
Subdivision \_\_\_\_\_ as submitted by  
Clark Engineering for the building or subdivision of  
Benedict Pond Estates has been  
reviewed by me and is approved Conditional,  
disapproved \_\_\_\_\_.

If disapproved, please list reason.

The D.F.C. has stopped any additional sewer lines  
being built until notified

\_\_\_\_\_  
HIGHWAY SUPERINTENDENT

\_\_\_\_\_  
WATER SUPERINTENDENT

Lyman D. Masten Jr.  
SANITARY SUPERINTENDENT

August 3, 1987  
DATE

Benedict Pond

86-82

NEWEST REVISION

Rec 7/31/87

BUILDING INSPECTOR, P.B. ENGINEER,  
WATER, SEWER, HIGHWAY REVIEW FORM:

The maps and plans for the Site Approval \_\_\_\_\_  
Subdivision \_\_\_\_\_ as submitted by

Clark Eng. \_\_\_\_\_ for the building or subdivision of  
Benedict Pond Est \_\_\_\_\_ has been

reviewed by me and is approved ☒  
disapproved \_\_\_\_\_.

If disapproved, please list reason.

There is no town water in this area

HIGHWAY SUPERINTENDENT

Steve Brink  
WATER SUPERINTENDENT

SANITARY SUPERINTENDENT

DATE



Louis Helmbeck  
County Executive

Department of Planning  
& Development

124 Main Street  
Goshen, New York 10924  
(914) 294-5151

Peter Garrison, Commissioner  
Richard S. DeTurk, Deputy Commissioner

ADVISORY REPORT

Date July 23, 1987  
Dept. of P & D NOT 18-87N  
County I.D. No. 65-1-58.2

Referred by: TOWN OF WINDSOR PLANNING BOARD

Applicant BENEDICT FOND ESTATES

Proposed Action MAJOR SUBDIVISION

Location MT AIRY + DEAN HILL ROAD INTERSECTION

As requested, we have reviewed the above and report as follows:

NO COUNTY ACTION IS REQUIRED

THERE ARE NO APPARENT MAJOR PLANNING  
CONSIDERATIONS AND/OR ISSUES TO BE BROUGHT  
TO YOUR ATTENTION

Peter Garrison

Reviewer



BUILDING INSPECTOR, P.B. ENGINEER,  
WATER, SEWER, HIGHWAY REVIEW FORM:

Benedict Pond  
Estates  
86-82

The maps and plans for the Site Approval \_\_\_\_\_  
Subdivision \_\_\_\_\_ as submitted by  
Clark Engineering for the building or subdivision of  
Benedict Pond Estates has been  
reviewed by me and is approved \_\_\_\_\_,  
disapproved \_\_\_\_\_.

If disapproved, please list reason.

disapproved on bases of D.E.C.'s Moratorium on Sewer lines

\_\_\_\_\_  
HIGHWAY SUPERINTENDENT

\_\_\_\_\_  
WATER SUPERINTENDENT

Lymon D. Masten Jr.  
SANITARY SUPERINTENDENT

8/24/87  
DATE

86-82



555 UNION AVENUE  
NEW WINDSOR, NEW YORK

## SITE PLAN APPROVAL

**BENEDICT POND ESTATES**

This project is rejected again for the common entrance to the  
driveways. Each home to have its own separate and distinct driveway.

SIGNED: Richard Holm  
CHAIRMAN



1763

# TOWN OF NEW WINDSOR

555 UNION AVENUE  
NEW WINDSOR, NEW YORK

86-82

BUREAU OF FIRE PREVENTION

SITE PLAN APPROVAL

BENEDICT POND ESTATES

The aforementioned site plan or map was reviewed by the Bureau of Fire Prevention at a meeting held on 18 August 1987.

       The site plan or map was approved by the Bureau of Fire Prevention.

☒ The site plan or map was disapproved by the Bureau of Fire Prevention for the following reason(s).

This project is rejected again for the common entrance to the  
driveways. Each home to have its own separate and distinct driveway.

SIGNED:

Richard Holaday  
CHAIRMAN



1763

# TOWN OF NEW WINDSOR

555 UNION AVENUE  
NEW WINDSOR, NEW YORK

BUREAU OF FIRE PREVENTION

SITE PLAN APPROVAL

BENEDICT POND ESTATES

The aforementioned site plan or map was reviewed by the Bureau of Fire Prevention at a meeting held on 21 July 1987.

☐ The site plan or map was approved by the Bureau of Fire Prevention.

☒ The site plan or map was disapproved by the Bureau of Fire Prevention for the following reason(s).

Driveways to be separated.

SIGNED: Richard W. Hotaling  
CHAIRMAN

there has to be something in bold stating what the situation is that would be given to each and every person considering a contract for these lots.

Mr. Grevas: I am willing to put a bold note on the plan and anything else that would go along with that.

Mr. Van Leeuwen: As far as a Butter Hill development that was an oversight I didn't think it was maliciously done but I found out after talking to the Town Assessor it was not in the deed and I remember that it was said here it would be put in the deed.

Mr. McCarville: There is no access to Reilly Road here.

Mr. Grevas: Yes, there is the road comes out that is the actual property line here and this is the right of way line.

Mr. Schiefer: Thank you.

BENEDICT POND ESTATES SUBDIVISION (86-82)

Mar. 25, 1987

Mr. Schiefer read the Engineer's comments.

Mr. Clark: We do have 100 foot width at the building setback line.

Mr. Van Leeuwen: This is quite an improvement from last time.

Mr. McCarville: You want to build on the ridge here and that would be the access?

Mr. Clark: Yes. As opposed to that we would be having that a common back line of the lots and not being able to utilize the high view on the ridge. We felt this would be a better arrangement.

Mr. McCarville: I am not one for flag lots but that one serves a purpose. There are some pretty mature trees there.

Mr. Clark: There is a line of spruce and other timber here. There is a very nice line.

Mr. Roncs: Is this Newburgh school district?

Mr. Clark: Cornwall.

Mr. Babcock: There is a line in there.

Mr. McCarville: Have you done any percs?

Mr. Clark: No.

Mr. Van Leeuwen: I suggest he sit down with our engineer and go over it.

Mr. Petrone: We are going to try and put some deed restrictions on some of those trees.

Scheible: You show how many handicapped spaces?

Mr. Kennedy: Three.

Mr. VanLeeuwen: "That the Planning Board of the Town of New Windsor approve the site plan for Vincent Minuta and Jean Minuta." Seconded by Mr. McCarville

Roll Call	Mr. Jones	Nay
	Mr. Van Leeuwen	Aye
	Mr. McCarville	Aye
	Mr. Scheible	Aye

Mr. Scheible: Due to only four members being present tonight the motion has failed to pass.

#### REVIEW

#### BENEDICT POND ESTATES SUBDIVISION (86-82)

Feb. 25, 1987

Mr. Dave Clouser: This is Michael Petrone. This is approximately 13.7 acres, 14 lots and two 2 family lots we are here for a sketch plan review looking for your input. One of the main items we were trying to preserve was the trees, the timber along the westerly portion of Dean Hill Road. That was the reason for the shaped lots giving more width to the lots along the frontage of the road. Portions of the lands agricultural right now they are two sections out of the parcel one is a single family residence the other is the New York Telephone Company equipment building. There is public sewer that will serve the lots individual well systems will be the water supply.

Mr. McCarville: We have enough flag lots in New Windsor without creating some from a virgin piece of property. There's got to be a better way of planning this.

Mr. VanLeeuwen: This is one of the worst layouts of a site in my 15 years on the Planning Board as far as I am concerned it is unacceptable. Poor Planning. I think you should take it back and go over this and come up with a few less lots. It is a beautiful piece of land.

Mr. Scheible: I'd like to give you the engineer's reviews. I agree with Mr. Van Leeuwen this looks like it fell out of the sky.

Mr. Clouser: Our choice was to make long deep lots because of the width in the back we wanted to be able to save as many trees as we could. The two family lots at the top there was building sites available there. The width of the lots on the bottom would allow for a deed restriction so the houses could be placed to preserve as many trees on lots 11, 12 and 13.

Mr. Van Leeuwen: I can respect your opinion but I have never seen anything like this in my 15 years on this Board.

Mr. Jones: We didn't really like flag lots I don't care who presents them.

Mr. Scheible: You are creating four and we don't want to see one, only under

extreme conditions. are starting with a virgin pi property to bring it before this Board and expect something like this to pass it would never fly.

Mr. Clouser: You are in favor of larger widths to deep ratio as opposed to this? We would be looking at a four to five ration if we were to bring this back here where the flag lots were and extend the lots back.

Mr. Clouser: Can I ask for a clarification on number four?

Mr. Edsall: That is the point that we discussed last meeting regarding where the lot width is measured. I think the Board is in the process of determining that definition now.

Mr. Scheible: We haven't reached a determination on whether it is the building line or the average lot width. We are working on the final determination now. But if you stay in touch with our Engineer he will advise you on that.

Mr. Clouser: You'd prefer one line through the back even with the width and the lots layed out with the minumum?

Mr. VanLeeuwen: I'd like to see straight lines.

Mr. Petrone: We'd like to introduce some deed restrictions depending on the layout and I cannot formulate or think about it until we know which way we are cutting the lot, we want to keep the trees though. I want to do that under any conditions.

Mr. McCarville: Do you propose to go with septic?

Mr. Petrone: We have sewer all around.

Mr. Roncs: Is there water up there?

Mr. Petrone: We need wells. We understand there is some talk of having Town water to the area.

Mr. Scheible: It is possible.

Mr. Petrone: Who should we talk to on that?

Mr. Scheible: To the Town Board.

Mr. Scheible: The flag lots are our biggest problem.

Mr. Roncs: How about the two family?

Mr. McCarville: That is permitted in the zone.

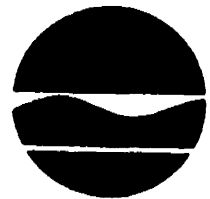
Mr. Scheible: We don't like it but we can't stop it.

Mr. Roncs: You might do better with the single family.

Mr. Scheible: Thank you.

**New York State Department of Environmental Conservation**

21 South Putt Corners Road  
New Paltz, NY 12561-1696  
(914) 255-5453



**Henry G. Williams**  
Commissioner

March 18, 1987

Mr. Michael Petrone  
RD #1, Box 673-D  
Monroe, NY 10950

Re: Benedict Pond Subdivision  
Location: T-New Windsor, C-Orange  
Purpose: Pre-application  
Conference

Dear Mr. Petrone:

The purpose of this letter is to summarize and document the results of my review and our meeting today regarding your proposed Benedict Pond Estates subdivision. The subdivision's first phase consists of 13 single family residents on 13.9 acres, directly south of the intersection of Mt. Airy Road and Dean Hill Road. The later phases would also include residential development (detached, clustered or a mix of both) on 57.7 acres further south of the above noted intersection and surrounding Benedict's Pond (H-89-P226 m; Class B).

The site does not contain any freshwater wetlands or streams regulated under Environmental Conservation Law. It does, however, contain Benedict's Pond which is a Class B pond and thus any excavating, filling, clearing, grading or construction activities within the highwater line of the pond requires a permit from this Department. Additionally the dam that creates the pond may be subject to these same Laws if it is greater than 10 feet high or impounds more than 1.0 million gallons of water. Construction or maintenance activities on this dam which effect or modify its structural integrity also requires a permit from this Department. If you wish to have the dam inspected by our staff to determine what defects, if any, it may have, you may contact Mr. George Koch of Dam Safety at (518) 457-5557 in our Albany office.

Construction of Phase I of your proposed development does not appear to require any permits from this Department. Central sewer and individual private wells for each lot preclude the need for any DEC permits. Please contact the Town of New Windsor regarding their requirements for connecting the homes to the existing sewer lines in the surrounding streets. If the Town needs to extend the boundaries of the Sewer District to include these lots, the Town should contact Mr. Joseph Marcogliese of our Division of Water staff in White Plains (914-761-6660) regarding any requirements the District must meet.

TOWN OF NEW WINDSOR  
PLANNING BOARD

RECEIVED *vp*

DATE 3-26-87



Mr. Michael Petrone

Page 2

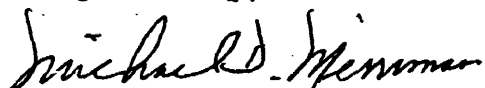
March 18, 1987

Later phases of the development will probably require a central water supply system particularly if development is clustered at certain points throughout the site. If a Town Water District has to construct a new central water supply system or extend an existing water district to serve this area, the Town will need a Water Supply permit from this Department. If you wish to construct a private central water supply system, you will have to apply for a Water Supply permit.

Finally, an environmental review pursuant to SEQR must be conducted by the Town of New Windsor for each phase or for the whole development. This Department would be an involved agency in that environmental review only if one or more of the permits mentioned above is required.

Please contact me or any of the other analysts in our New Paltz office at (914) 255-5453 for permit application forms or SEQR information if any of these become necessary.

Respectfully,



Michael D. Merriman  
Sr. Environmental Analyst  
Region 3

MDM:ss

cc: C. Manfredi/J. Marcogliese  
R. Keating  
T-New Windsor, Planning Board  
D. Clouser, L. S. Clark Eng.

Planning Board  
Town of New Windsor  
555 Union Avenue  
New Windsor, NY 12550

(This is a two-sided form)

Date Received \_\_\_\_\_  
Meeting Date \_\_\_\_\_  
Public Hearing \_\_\_\_\_  
Action Date \_\_\_\_\_  
Fees Paid \_\_\_\_\_

APPLICATION FOR SITE PLAN OR  
SUBDIVISION PLAN APPROVAL

1. Name of Project Benedict Pond Estates
2. Name of Applicant Mr. Michael Petrone Phone (914) 782-5535  
Address RD #1, Box 673D Monroe, New York 10950  
(Street No. & Name) (Post Office) (State) (Zip)
3. Owner of Record H. Franklin Benedict Phone (914) 562-2098  
Address \_\_\_\_\_ Newburgh, New York 12550  
(Street No. & Name) (Post Office) (State) (Zip)
4. Person Preparing Plan Clark Engineers DS, P.C. Phone (914) 564-8700  
Address 259 Route 17K Newburgh, New York 12550  
(Street No. & Name) (Post Office) (State) (Zip)
5. Attorney Don Mirro Phone (914) 294-5401  
Address 176 Main Street Goshen, New York 10921  
(Street No. & Name) (Post Office) (State) (Zip)
6. Location: On the Southeast side of Mt. Airy Road  
and East Southwest side (Street)  
of Dean Hill Road (Direction)  
(Street)
7. Acreage of Parcel 13.9 8. Zoning District R-3
9. Tax Map Designation: Section 65 Block 1 Lot 58.2
10. This application is for Sketch Plan Review
11. Has the Zoning Board of Appeals granted any variance or a special permit concerning this property? No.

If so, list Case No. and Name Not Applicable

12. List all contiguous holdings in the same ownership  
Section 65 Block 1 Lot(s) 55

**\*\*Previously Filed with the Planning Board\*\***

Attached hereto is an affidavit of ownership indicating the dates the respective holdings of land were acquired, together with the liber and page of each conveyance into the present owner as recorded in the Orange County Clerk's Office. This affidavit shall indicate the legal owner of the property, the contract owner of the property and the date the contract of sale was executed.

IN THE EVENT OF CORPORATE OWNERSHIP: A list of all directors, officers and stockholders of each corporation owning more than five percent (5%) of any class of stock must be attached.

OWNER'S ENDORSEMENT  
(Completion required ONLY if applicable)

COUNTY OF ORANGE

SS.:

**\*\* Previously Filed with the Planning Board\*\***

STATE OF NEW YORK

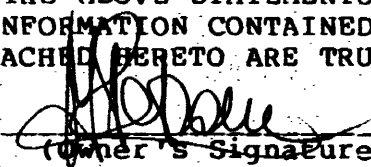
\_\_\_\_\_ being duly sworn, deposes and says  
that he resides at \_\_\_\_\_  
in the County of \_\_\_\_\_ and State of \_\_\_\_\_  
and that he is (the owner in fee) of \_\_\_\_\_

(Official Title)

of the Corporation which is the Owner in fee of the premises described in the foregoing application and that he has authorized \_\_\_\_\_ to make the foregoing application for Special Use Approval as described herein.

I HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS AND INFORMATION, AND ALL STATEMENTS AND INFORMATION CONTAINED IN THE SUPPORTING DOCUMENTS AND DRAWINGS ATTACHED HERETO ARE TRUE.

Sworn before me this

  
(Owner's Signature)

\_\_\_\_\_ day of \_\_\_\_\_ 198

\_\_\_\_\_  
(Applicant's Signature)

\_\_\_\_\_  
Notary Public

\_\_\_\_\_  
(Title)

# SHORT ENVIRONMENTAL ASSESSMENT FORM

## Appendix B Part 617

Project Title: Benedict Pond Estates

Location: Mt. Airy and Dean Hill Roads, Town of New Windsor, Orange County, New York

ID Number: Tax Map Reference: Section 65, Block 1, Lot 58.2, Town of New Windsor

### INSTRUCTIONS:

- (a) In order to answer the questions in this short EAF it is assumed that the preparer will use currently available information concerning the project and the likely impacts of the action. It is not expected that additional studies, research or other investigations will be undertaken.
- (b) If any question has been answered **Yes**, the project may have a significant effect and the full Environmental Assessment Form is necessary. **Maybe** or **Unknown** answers should be considered as **Yes** answers.
- (c) If all questions have been answered **No** it is likely that this project will not have a significant effect.
- (d) If additional space is needed to answer the questions, please use the back of the sheet or provide attachments as required.

### ENVIRONMENTAL ASSESSMENT

	YES	NO
1. Will project result in a large physical change to the project site or physically alter more than 10 acres of land?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Will there be a major change to any unique or unusual land form found on the site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Will project alter or have a large effect on an existing body of water?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Will project have an adverse impact on groundwater quality?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Will project significantly effect drainage flow on adjacent sites?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Will project affect any threatened or endangered plant or animal species?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Will project result in a major adverse effect on air quality?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Will project have a major effect on the visual character of the community or scenic views or vistas known to be important to the community?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Will project adversely impact any site or structure of historic, prehistoric, or paleontological importance or any site designated as a Critical Environmental Area by a local agency?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Will project have a major adverse effect on existing or future recreational opportunities?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Will project result in major traffic problems or cause a major effect to existing transportation systems?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12. Is project non-farm related and located within a certified agricultural district?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Will project regularly cause objectionable odors, noise, glare, vibration, or electrical disturbance as a result of the project's operation?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Will project have any adverse impact on public health or safety?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Will project affect the existing community by directly causing a growth in permanent population of more than 5 percent over a one-year period or have a major negative effect on the character of the community or neighborhood?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is there public controversy concerning any potential impact of the project?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

### FOR AGENCY USE ONLY

Preparer's Signature: By: CLARK ENGINEERS DS, P.C.  
David B. Clouser Date: March 9, 1987  
Preparer's Title: Chief Engineer  
Agency: \_\_\_\_\_

TOWN OF NEW WINDSOR PLANNING BOARD  
SKETCH ~~5000~~ PLAN CHECKLIST

ITEM

SKETCH

- |   |                                |
|---|--------------------------------|
| 1. <input checked="" type="checkbox"/> <del>Site</del> Plan Title   | 29. ___ Curbing Locations      |
| 2. <input checked="" type="checkbox"/> Applicant's Name(s)          | 30. ___ Curbing Through        |
| 3. <input checked="" type="checkbox"/> Applicant's Address(es)      | Section                        |
| 4. <input checked="" type="checkbox"/> Site Plan Preparer's Name    | 31. ___ Catch Basin Locations  |
| 5. <input checked="" type="checkbox"/> Site Plan Preparer's Address | 32. ___ Catch Basin Through    |
| 6. <input checked="" type="checkbox"/> Drawing Date                 | Section                        |
| 7. <input checked="" type="checkbox"/> Revision Dates               | 33. ___ Storm Drainage         |
|   | 34. ___ Refuse Storage         |
| 8. <input checked="" type="checkbox"/> AREA MAP INSET               | 35. ___ Other Outdoor Storage  |
| 9. <input checked="" type="checkbox"/> Site Designation             | 36. ___ Water Supply           |
| 10. * Properties Within 500 Feet                                    | 37. ___ Sanitary Disposal Sys. |
| of Site   |                                |
| 11. * Property Owners (Item #10)                                    | 38. ___ Fire Hydrants          |
| 12. * PLOT PLAN   | 39. ___ Building Locations     |
| 13. <input checked="" type="checkbox"/> Scale (1" = 50' or lesser)  | 40. ___ Building Setbacks      |
| 14. <input checked="" type="checkbox"/> Metes and Bounds            | 41. ___ Front Building         |
| 15. <input checked="" type="checkbox"/> Zoning Designation          | Elevations                     |
| 16. <input checked="" type="checkbox"/> North Arrow                 | 42. ___ Divisions of Occupancy |
| 17. <input checked="" type="checkbox"/> Abutting Property Owners    | 43. ___ Sign Details           |
| 18. * Existing Building Locations                                   | 44. ___ BULK TABLE INSET       |
| 19. <input checked="" type="checkbox"/> Existing Paved Areas        | 45. ___ Property Area (Nearest |
| 20. <input checked="" type="checkbox"/> Existing Vegetation         | 100 sq. ft.)                   |
| 21. <input checked="" type="checkbox"/> Existing Access & Egress    | 46. ___ Building Coverage (sq. |
|   | ft.)                           |
| <u>PROPOSED IMPROVEMENTS</u> *                                      | 47. ___ Building Coverage (%   |
| 22. ___ Landscaping   | of Total Area)                 |
| 23. ___ Exterior Lighting   | 48. ___ Pavement Coverage (Sq. |
| 24. ___ Screening   | Ft.)                           |
| 25. ___ Access & Egress   | 49. ___ Pavement Coverage (%   |
| 26. ___ Parking Areas   | of Total Area)                 |
| 27. ___ Loading Areas   | 50. ___ Open Space (Sq. Ft.)   |
| 28. ___ Paving Details  | 51. ___ Open Space (% of Total |
| (Items 25-27)   | Area)                          |
| * Indicates information to be furnished                             | 52. ___ No. of Parking Spaces  |
| following concept approval of the                                   | Proposed.                      |
| Sketch Plan Lot Layout  | 53. ___ No. of Parking         |
|   | Required.                      |

This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

PREPARED'S ACKNOWLEDGEMENT:

The ~~Site~~ <sup>SKETCH</sup> Plan has been prepared in accordance with this checklist and the Town of New Windsor Ordinances, to the best of my knowledge.

CLARK ENGINEERS DS, P.C.  
By: David B. Clouser  
    Licensed Professional

Date: March 9, 1987



1763

# TOWN OF NEW WINDSOR

555 UNION AVENUE  
NEW WINDSOR, NEW YORK

BUREAU OF FIRE PREVENTION

SITE PLAN APPROVAL

BENEDICT POND ESTATES SUBDIVISION OF LANDS

The aforementioned site plan or map was reviewed by the Bureau of Fire Prevention at a meeting held on 9 December 1986.

       The site plan or map was approved by the Bureau of Fire Prevention.

       The site plan or map was disapproved by the Bureau of Fire Prevention for the following reason(s).

It is strongly recommended that until water is available for fire fighting purposes, that this project be rejected, however, it is only a recommendation due to the multi-family dwellings. Also, does the road meet present town specifications.

*Robert J. [Signature]*  
*Fire Inspector*

SIGNED: \_\_\_\_\_  
CHAIRMAN

WATER, SEWER, HIGHWAY REVIEW FORM:

The maps and plans for the Site Approval \_\_\_\_\_  
Subdivision Benedict Pond Estate as submitted by  
Clark Engineers for the building or subdivision of  
\_\_\_\_\_ has been  
reviewed by me and is approved \_\_\_\_\_,  
disapproved \_\_\_\_\_.

If disapproved, please list reason.

*Concerned were driveway locations will be!*

Fred Fay, Jr. (M.D.)  
HIGHWAY SUPERINTENDENT

\_\_\_\_\_  
WATER SUPERINTENDENT

\_\_\_\_\_  
SANITARY SUPERINTENDENT

\_\_\_\_\_  
DATE



Louis Heimbeck  
County Executive

Department of Planning  
& Development

124 Main Street  
Goshen, New York 10924  
(914) 294-5151

Peter Garrison, Commissioner  
Richard S. DeTurk, Deputy Commissioner

ADVISORY REPORT

Date NOVEMBER 7, 1986  
Dept. of P&D No. ADTA 49-86N  
County I.D. No. 6511 158.2

Applicant MICHAEL PETRONE - BENEDICT POND ESTATES

Proposed Action MAJOR SUBDIVISION

Location MTAIREY / DEAN HILL ROADS

As requested, we have reviewed the above and report as follows:

☒ No County action is required.

☐ There are no apparent major planning considerations and/or issues to be brought to your attention.

☒ The following should be considered:

PROXIMITY TO SILVER STREAM RESERVOIR  
(SUGGEST DEPT. OF HEALTH REVIEW)

RE-DESIGN TO CREATE A MORE INTERESTING LOT  
ARRANGEMENT

ADEQUACY OF INDIVIDUAL LOTS TO ACCOMMODATE  
TO INDIVIDUAL CELLS

Peter Garrison  
Reviewer



PLANNING BOARD  
TOWN OF NEW WINDSOR  
555 UNION AVENUE  
NEW WINDSOR, NY 12550

93

(This is a two-sided form)

Date Received \_\_\_\_\_  
Preapplication Approval \_\_\_\_\_  
Preliminary Approval \_\_\_\_\_  
Final Approval \_\_\_\_\_  
Fees Paid \_\_\_\_\_

86-82

APPLICATION FOR SUBDIVISION APPROVAL

Date: October 20, 1986

1. Name of subdivision Benedict Pond Estates
2. Name of applicant Michael Petrone Phone (201) 430-2348  
Address RD #1, Box 673D Monroe, New York 10950  
(Street No. & Name) (Post Office) (State) (Zip Code)
3. Owner of record H. Franklin Benedict Phone (914) 562-2098  
Address Newburgh, New York 12550  
(Street No. & Name) (Post Office) (State) (Zip Code)
4. Land Surveyor Mercurio-Norton-Tarolli Phone (914) 744-3620  
Address 75 Main Street Pine Bush, New York 12566  
(Street No. & Name) (Post Office) (State) (Zip Code)
5. Attorney Don Mirro Phone (914) 294-5401  
Address 176 Main Street Goshen, New York 10921  
(Street No. & Name) (Post Office) (State) (Zip Code)
6. Subdivision location: On the Southeast side of Mt. Airy Road and Southwest  
(Street)  
East of Dean Hill Road  
(direction)
7. Total Acreage 13.9 Zone R-3 Number of Lots 14
8. Tax map designation: Section 65 Lot(s) Block 1, Lot 58.2
9. Has this property, or any portion of the property, previously been subdivided No.  
If yes, when \_\_\_\_\_; by whom \_\_\_\_\_.
10. Has the Zoning Board of Appeals granted any variance concerning this property No.  
If yes, list case No. and Name \_\_\_\_\_.

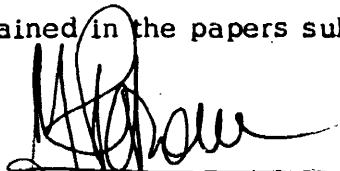
List all contiguous holdings in the same ownership.

Section 65 Block(s) 1 Lot(s) 55 and 56

Attached hereto is an affidavit of ownership indicating the dates the respective holdings of land were acquired, together with the liber and page of each conveyance into the present owner as recorded in the Orange County Clerk's Office. This affidavit shall indicate the legal owner of the property, the contract owner of the property and the date the contract of sale was executed. IN THE EVENT OF CORPORATE OWNERSHIP: A list of all directors, officers and stockholders of each corporation owning more than five percent (5%) of any class of stock must be attached.

STATE OF NEW YORK )  
COUNTY OF ORANGE : SS.:

I, Michael Petrone, hereby depose and say that all the above statements and the statements contained in the papers submitted herewith are true.



Michael Petrone

Mailing Address RD # 1 Box 673D

Monroe, New York 10950

SWORN to before me this

30th day of October, 1986



NOTARY PUBLIC

DONALD W. MIRRO  
Notary Public, State of New York  
Qualified in Orange County  
Commission Expires March 30, 1997

## PART 1—PROJECT INFORMATION

### Prepared by Project Sponsor

NOTICE: This document is designed to assist in determining whether the action proposed may have a significant effect on the environment. Please complete the entire form, Parts A through E. Answers to these questions will be considered as part of the application for approval and may be subject to further verification and public review. Provide any additional information you believe will be needed to complete Parts 2 and 3.

It is expected that completion of the full EAF will be dependent on information currently available and will not involve new studies, research or investigation. If information requiring such additional work is unavailable, so indicate and specify each instance.

NAME OF ACTION <b>Benedict Pond Estates</b>		
LOCATION OF ACTION (Include Street Address, Municipality and County) <b>New Windsor, New York Orange County-Section 65 Block 1 Lot 51.2</b>		
NAME OF APPLICANT/SPONSOR <b>Michael Petrone</b>		BUSINESS TELEPHONE (     )
ADDRESS <b>RD #1 Box 6730</b>		
CITY/PO <b>Monroe</b>	STATE <b>NY</b>	ZIP CODE <b>10950</b>
NAME OF OWNER (If different)		BUSINESS TELEPHONE (     )
ADDRESS		
CITY/PO	STATE	ZIP CODE
DESCRIPTION OF ACTION  <b>A 13.68 acre parcel is to be subdivided into 13 residential lots. Each lot is to have public sewerage and individual wells.</b>		

Please Complete Each Question—Indicate N.A. if not applicable

### A. Site Description

Physical setting of overall project, both developed and undeveloped areas.

1. Present land use:    ☐ Urban    ☐ Industrial    ☐ Commercial    ☐ Residential (suburban)    ☐ Rural (non-farm)  
                                  ☐ Forest    ☐ Agriculture    ☒ Other Currently undeveloped with wooded areas and fields.

2. Total acreage of project area: 13.68 acres.

APPROXIMATE ACREAGE	PRESENTLY	AFTER COMPLETION
* Meadow or Brushland (Non-agricultural)	<u>5.37</u> acres	<u>0</u> acres
Forested	<u>5.84</u> acres	<u>4.33</u> acres
Agricultural (Includes orchards, cropland, pasture, etc.)	<u>2.47</u> acres	<u>0</u> acres
Wetland (Freshwater or tidal as per Articles 24, 25 of ECL)	<u>0</u> acres	<u>0</u> acres
Water Surface Area	<u>0</u> acres	<u>0</u> acres
Unvegetated (Rock, earth or fill)	<u>0</u> acres	<u>0</u> acres
Roads, buildings and other paved surfaces	<u>0</u> acres	<u>1.25</u> acres
Other (Indicate type) <u>Improved Lawns, Mt. Airy Road</u>	<u>0</u> acres	<u>8.10</u> acres

3. What is predominant soil type(s) on project site? Mardin Gravelly Silt Loam

- a. Soil drainage:    ☐ Well drained \_\_\_\_\_ % of site    ☒ Moderately well drained 100 % of site  
                                  ☐ Poorly drained \_\_\_\_\_ % of site

- b. If any agricultural land is involved, how many acres of soil are classified within soil group 1 through 4 of the NYS Land Classification System? 0 acres. (See 1 NYCRR 370).

4. Are there bedrock outcroppings on project site?    ☒ Yes    ☐ No

- a. What is depth to bedrock? 0-5' (in feet)

\* See Attachment 1 for additional information<sup>2</sup>.

- 5., Approximate percentage of proposed project site with slopes: ☐ 0-10% 45.2 % ☐ 10-15% 24.6 %  
☐ 15% or greater 30.2 %
6. Is project substantially contiguous to, or contain a building, site, or district, listed on the State or the National Registers of Historic Places? ☐ Yes ☒ No
7. Is project substantially contiguous to a site listed on the Register of National Natural Landmarks? ☐ Yes ☒ No
8. What is the depth of the water table? 1.5 - 5.0 (in feet) (from Soil Survey of Orange County)
9. Is site located over a primary, principal, or sole source aquifer? ☐ Yes ☒ No
10. Do hunting, fishing or shell fishing opportunities presently exist in the project area? ☐ Yes ☒ No
11. Does project site contain any species of plant or animal life that is identified as threatened or endangered?  
☐ Yes ☒ No According to \_\_\_\_\_  
Identify each species \_\_\_\_\_
12. Are there any unique or unusual land forms on the project site? (i.e., cliffs, dunes, other geological formations)  
☐ Yes ☒ No Describe \_\_\_\_\_
13. Is the project site presently used by the community or neighborhood as an open space or recreation area?  
☐ Yes ☒ No If yes, explain \_\_\_\_\_
14. Does the present site include scenic views known to be important to the community?  
☐ Yes ☒ No
15. Streams within or contiguous to project area: None  
a. Name of Stream and name of River to which it is tributary \_\_\_\_\_
16. Lakes, ponds, wetland areas within or contiguous to project area: None  
a. Name \_\_\_\_\_ b. Size (In acres) \_\_\_\_\_
17. Is the site served by existing public utilities? ☒ Yes ☐ No  
a) If Yes, does sufficient capacity exist to allow connection? ☒ Yes ☐ No  
b) If Yes, will improvements be necessary to allow connection? ☒ Yes ☐ No
18. Is the site located in an agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? ☐ Yes ☒ No
19. Is the site located in or substantially contiguous to a Critical Environmental Area designated pursuant to Article 8 of the ECL, and 6 NYCRR 617? ☐ Yes ☒ No
20. Has the site ever been used for the disposal of solid or hazardous wastes? ☐ Yes ☒ No

## B. Project Description

1. Physical dimensions and scale of project (fill in dimensions as appropriate):
- Total contiguous acreage owned or controlled by project sponsor 13.68 acres.
  - Project acreage to be developed: 0 acres initially; 3.44 acres ultimately.
  - Project acreage to remain undeveloped 10.24 acres.
  - Length of project, in miles: n/a (If appropriate)
  - If the project is an expansion, indicate percent of expansion proposed \_\_\_\_\_ %;
  - Number of off-street parking spaces existing \_\_\_\_\_; proposed \_\_\_\_\_
  - Maximum vehicular trips generated per hour 6 (upon completion of project)?
  - If residential: Number and type of housing units:  

	One Family	Two Family	Multiple Family	Condominium
Initially	<u>0</u>			
Ultimately	<u>13</u>			
  - Dimensions (in feet) of largest proposed structure 25 height; 40 width; 80 length.
  - Linear feet of frontage along a public thoroughfare project will occupy is? 1884 ft.

2. How much natural material (i.e., rock, earth, etc.) will be removed from the site? 0 tons/cubic yards
3. Will disturbed areas be reclaimed? ☐ Yes ☒ No ☐ N/A
- a. If yes, for what intended purpose is the site being reclaimed? \_\_\_\_\_
- b. Will topsoil be stockpiled for reclamation? ☒ Yes ☐ No
- c. Will upper subsoil be stockpiled for reclamation? ☒ Yes ☐ No
4. How many acres of vegetation (trees, shrubs, ground covers) will be removed from site? 3.44 acres.
5. Will any mature forest (over 100 years old) or other locally-important vegetation be removed by this project?  
☐ Yes ☒ No
6. If single phase project: Anticipated period of construction 12 months, (including demolition).
7. If multi-phased:
- a. Total number of phases anticipated \_\_\_\_\_ (number).
- b. Anticipated date of commencement phase 1 \_\_\_\_\_ month \_\_\_\_\_ year, (including demolition).
- c. Approximate completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year.
- d. Is phase 1 functionally dependent on subsequent phases? ☐ Yes ☐ No
8. Will blasting occur during construction? ☐ Yes ☒ No
9. Number of jobs generated: during construction 10; after project is complete 0
10. Number of jobs eliminated by this project 0
11. Will project require relocation of any projects or facilities? ☐ Yes ☒ No If yes, explain \_\_\_\_\_
12. Is surface liquid waste disposal involved? ☐ Yes ☒ No
- a. If yes, indicate type of waste (sewage, industrial, etc.) and amount \_\_\_\_\_
- b. Name of water body into which effluent will be discharged \_\_\_\_\_
13. Is subsurface liquid waste disposal involved? ☐ Yes ☒ No Type \_\_\_\_\_
14. Will surface area of an existing water body increase or decrease by proposal? ☐ Yes ☒ No  
Explain \_\_\_\_\_
15. Is project or any portion of project located in a 100 year flood plain? ☐ Yes ☒ No
16. Will the project generate solid waste? ☒ Yes ☐ No
- a. If yes, what is the amount per month 2 tons
- b. If yes, will an existing solid waste facility be used? ☒ Yes ☐ No
- c. If yes, give name Orange County Sanitary Landfill location Middletown, New York
- d. Will any wastes not go into a sewage disposal system or into a sanitary landfill? ☐ Yes ☒ No
- e. If Yes, explain \_\_\_\_\_
17. Will the project involve the disposal of solid waste? ☒ Yes ☐ No
- a. If yes, what is the anticipated rate of disposal? 2 tons/month.
- b. If yes, what is the anticipated site life? n/a years.
18. Will project use herbicides or pesticides? ☐ Yes ☒ No
19. Will project routinely produce odors (more than one hour per day)? ☐ Yes ☒ No
20. Will project produce operating noise exceeding the local ambient noise levels? ☐ Yes ☒ No
21. Will project result in an increase in energy use? ☒ Yes ☐ No  
If yes, indicate type(s) Electricity
22. If water supply is from wells, indicate pumping capacity 5 gallons/minute.
23. Total anticipated water usage per day 4000± gallons/day.
24. Does project involve Local, State or Federal funding? ☐ Yes ☒ No  
If Yes, explain \_\_\_\_\_

## 25. Approvals Required:

Type

Submittal  
Date

City, Town, Village Board	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<del>City</del> , Town, <del>Village</del> Planning Board	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
City, Town Zoning Board	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<del>City</del> , County Health Department	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Other Local Agencies	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Other Regional Agencies	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
State Agencies D.E.C.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Federal Agencies	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Subdivision Approval

Water Supply

Sewer Extension

## C. Zoning and Planning Information

1. Does proposed action involve a planning or zoning decision? ☒ Yes ☐ No

If Yes, indicate decision required:

☐ zoning amendment ☐ zoning variance ☐ special use permit ☒ subdivision ☐ site plan  
☐ new/revision of master plan ☐ resource management plan ☐ other \_\_\_\_\_

2. What is the zoning classification(s) of the site? R-3

3. What is the maximum potential development of the site if developed as permitted by the present zoning?

Current zoning allows for single & two family development with minimum lot sizes of 75 acres & 1.5 acres respectfully.

4. What is the proposed zoning of the site? R-3

5. What is the maximum potential development of the site if developed as permitted by the proposed zoning?  
same

6. Is the proposed action consistent with the recommended uses in adopted local land use plans? ☒ Yes ☐ No

7. What are the predominant land use(s) and zoning classifications within a ¼ mile radius of proposed action?

R-3

8. Is the proposed action compatible with adjoining/surrounding land uses within a ¼ mile? ☒ Yes ☐ No

9. If the proposed action is the subdivision of land, how many lots are proposed? 13

a. What is the minimum lot size proposed? .79 acres

10. Will proposed action require any authorization(s) for the formation of sewer or water districts? ☐ Yes ☒ No

11. Will the proposed action create a demand for any community provided services (recreation, education, police, fire protection)? ☒ Yes ☐ No

a. If yes, is existing capacity sufficient to handle projected demand? ☒ Yes ☐ No

12. Will the proposed action result in the generation of traffic significantly above present levels? ☐ Yes ☒ No

a. If yes, is the existing road network adequate to handle the additional traffic? ☐ Yes ☐ No

## D. Informational Details

Attach any additional information as may be needed to clarify your project. If there are or may be any adverse impacts associated with your proposal, please discuss such impacts and the measures which you propose to mitigate or avoid them.

## E. Verification

I certify that the information provided above is true to the best of my knowledge.

Applicant/Sponsor Name: Michael Petrone Date: 11/2/87

Signature: [Signature] Title: Owner

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment.

## Part 2—PROJECT IMPACTS AND THEIR MAGNITUDE

Responsibility of Lead Agency

### General Information (Read Carefully)

- In completing the form the reviewer should be guided by the question: Have my responses and determinations been reasonable? The reviewer is not expected to be an expert environmental analyst.
- Identifying that an impact will be potentially large (column 2) does not mean that it is also necessarily significant. Any large impact must be evaluated in PART 3 to determine significance. Identifying an impact in column 2 simply asks that it be looked at further.
- The Examples provided are to assist the reviewer by showing types of impacts and wherever possible the threshold of magnitude that would trigger a response in column 2. The examples are generally applicable throughout the State and for most situations. But, for any specific project or site other examples and/or lower thresholds may be appropriate for a Potential Large Impact response, thus requiring evaluation in Part 3.
- The impacts of each project, on each site, in each locality, will vary. Therefore, the examples are illustrative and have been offered as guidance. They do not constitute an exhaustive list of impacts and thresholds to answer each question.
- The number of examples per question does not indicate the importance of each question.
- In identifying impacts, consider long term, short term and cumulative effects.

### Instructions (Read carefully)

- Answer each of the 19 questions in PART 2. Answer Yes if there will be any impact.
- Maybe answers should be considered as Yes answers.
- If answering Yes to a question then check the appropriate box (column 1 or 2) to indicate the potential size of the impact. If impact threshold equals or exceeds any example provided, check column 2. If impact will occur but threshold is lower than example, check column 1.
- If reviewer has doubt about size of the impact then consider the impact as potentially large and proceed to PART 3.
- If a potentially large impact checked in column 2 can be mitigated by change(s) in the project to a small to moderate impact, also check the Yes box in column 3. A No response indicates that such a reduction is not possible. This must be explained in Part 3.

### IMPACT ON LAND

- \* 1. Will the proposed action result in a physical change to the project site?  
☐ NO ☒ YES

Examples that would apply to column 2

- Any construction on slopes of 15% or greater, (15 foot rise per 100 foot of length), or where the general slopes in the project area exceed 10%.
- Construction on land where the depth to the water table is less than 3 feet.
- Construction of paved parking area for 1,000 or more vehicles.
- Construction on land where bedrock is exposed or generally within 3 feet of existing ground surface.
- Construction that will continue for more than 1 year or involve more than one phase or stage.
- Excavation for mining purposes that would remove more than 1,000 tons of natural material (i.e., rock or soil) per year.
- Construction or expansion of a sanitary landfill.
- Construction in a designated floodway.
- Other impacts \_\_\_\_\_

2. Will there be an effect to any unique or unusual land forms found on the site? (i.e., cliffs, dunes, geological formations, etc.) ☒ NO ☐ YES

- Specific land forms: \_\_\_\_\_

1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated By Project Change
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

## IMPACT ON WATER

3. Will proposed action affect any water body designated as protected?  
(Under Articles 15, 24, 25 of the Environmental Conservation Law, ECL)
- ☒ NO ☐ YES

### Examples that would apply to column 2

- Developable area of site contains a protected water body.
- Dredging more than 100 cubic yards of material from channel of a protected stream.
- Extension of utility distribution facilities through a protected water body.
- Construction in a designated freshwater or tidal wetland.
- Other Impacts: \_\_\_\_\_

4. Will proposed action affect any non-protected existing or new body of water? ☒ NO ☐ YES

### Examples that would apply to column 2

- A 10% increase or decrease in the surface area of any body of water or more than a 10 acre increase or decrease.
- Construction of a body of water that exceeds 10 acres of surface area.
- Other impacts: \_\_\_\_\_

5. Will Proposed Action affect surface or groundwater quality or quantity? ☒ NO ☐ YES

### Examples that would apply to column 2

- Proposed Action will require a discharge permit.
- Proposed Action requires use of a source of water that does not have approval to serve proposed (project) action.
- Proposed Action requires water supply from wells with greater than 45 gallons per minute pumping capacity.
- Construction or operation causing any contamination of a water supply system.
- Proposed Action will adversely affect groundwater.
- Liquid effluent will be conveyed off the site to facilities which presently do not exist or have inadequate capacity.
- Proposed Action would use water in excess of 20,000 gallons per day.
- Proposed Action will likely cause siltation or other discharge into an existing body of water to the extent that there will be an obvious visual contrast to natural conditions.
- Proposed Action will require the storage of petroleum or chemical products greater than 1,100 gallons.
- Proposed Action will allow residential uses in areas without water and/or sewer services.
- Proposed Action locates commercial and/or industrial uses which may require new or expansion of existing waste treatment and/or storage facilities.
- Other impacts: \_\_\_\_\_

6. Will proposed action alter drainage flow or patterns, or surface water runoff? ☒ NO ☐ YES

**Examples that would apply to column 2**

- Proposed Action would change flood water flows.

[illegible]



- Proposed Action may cause substantial erosion.
- Proposed Action is incompatible with existing drainage patterns.
- Proposed Action will allow development in a designated floodway.
- Other impacts: \_\_\_\_\_

## IMPACT ON AIR

7. Will proposed action affect air quality? ☒ NO ☐ YES
- Examples that would apply to column 2
- Proposed Action will induce 1,000 or more vehicle trips in any given hour.
  - Proposed Action will result in the incineration of more than 1 ton of refuse per hour.
  - Emission rate of total contaminants will exceed 5 lbs. per hour or a heat source producing more than 10 million BTU's per hour.
  - Proposed action will allow an increase in the amount of land committed to industrial use.
  - Proposed action will allow an increase in the density of industrial development within existing industrial areas.
  - Other impacts: \_\_\_\_\_

## IMPACT ON PLANTS AND ANIMALS

8. Will Proposed Action affect any threatened or endangered species? ☒ NO ☐ YES
- Examples that would apply to column 2
- Reduction of one or more species listed on the New York or Federal list, using the site, over or near site or found on the site.
  - Removal of any portion of a critical or significant wildlife habitat.
  - Application of pesticide or herbicide more than twice a year, other than for agricultural purposes.
  - Other impacts: \_\_\_\_\_

9. Will Proposed Action substantially affect non-threatened or non-endangered species? ☒ NO ☐ YES
- Examples that would apply to column 2
- Proposed Action would substantially interfere with any resident or migratory fish, shellfish or wildlife species.
  - Proposed Action requires the removal of more than 10 acres of mature forest (over 100 years of age) or other locally important vegetation.

## IMPACT ON AGRICULTURAL LAND RESOURCES

10. Will the Proposed Action affect agricultural land resources? ☒ NO ☐ YES
- Examples that would apply to column 2
- The proposed action would sever, cross or limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc.)

1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated By Project Change	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
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<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No

- [illegible]

11. Will proposed action affect aesthetic resources? ☒ NO ☐ YES  
(If necessary, use the Visual EAF Addendum in Section 617.21, Appendix B.)

- Proposed land uses, or project components obviously different from or in sharp contrast to current surrounding land use patterns, whether man-made or natural.
- Proposed land uses, or project components visible to users of aesthetic resources which will eliminate or significantly reduce their enjoyment of the aesthetic qualities of that resource.
- Project components that will result in the elimination or significant screening of scenic views known to be important to the area.
- Other impacts:

12. Will Proposed Action impact any site or structure of historic, pre-historic or paleontological importance? ☒ NO ☐ YES  
Examples that would apply to column 2

- ## IMPACT ON OPEN SPACE AND RECREATION

- Examples that would apply to column 2 ☒ NO ☐ YES

- The permanent foreclosure of a future recreational opportunity.
- A major reduction of an open space important to the community.
- Other impacts: \_\_\_\_\_

## IMPACT ON TRANSPORTATION

14. Will there be an effect to existing transportation systems?

☒ NO      ☐ YES

**Examples that would apply to column 2**

- Alteration of present patterns of movement of people and/or goods.
- Proposed Action will result in major traffic problems.
- Other impacts: \_\_\_\_\_

## IMPACT ON ENERGY

15. Will proposed action affect the community's sources of fuel or energy supply? ☒ NO ☐ YES

☒ NO      ☐ YES

**Examples that would apply to column 2**

- Proposed Action will cause a greater than 5% increase in the use of any form of energy in the municipality.
- Proposed Action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two family residences or to serve a major commercial or industrial use.
- Other impacts: \_\_\_\_\_

## NOISE AND ODOR IMPACTS

16. Will there be objectionable odors, noise, or vibration as a result of the Proposed Action? ☒ NO ☐ YES

☒ NO      ☐ YES

Examples that would apply to column 2

- Blasting within 1,500 feet of a hospital, school or other sensitive facility.
- Odors will occur routinely (more than one hour per day).
- Proposed Action will produce operating noise exceeding the local ambient noise levels for noise outside of structures.
- Proposed Action will remove natural barriers that would act as a noise screen.
- Other impacts: \_\_\_\_\_

## IMPACT ON PUBLIC HEALTH

17. Will Proposed Action affect public health and safety?

☒ NO    ☐ YES

**Examples that would apply to column 2**

- Proposed Action may cause a risk of explosion or release of hazardous substances (i.e. oil, pesticides, chemicals, radiation, etc.) in the event of accident or upset conditions, or there may be a chronic low level discharge or emission.
- Proposed Action may result in the burial of "hazardous wastes" in any form (i.e. toxic, poisonous, highly reactive, radioactive, irritating, infectious, etc.)
- Storage facilities for one million or more gallons of liquified natural gas or other flammable liquids.
- Proposed action may result in the excavation or other disturbance within 2,000 feet of a site used for the disposal of solid or hazardous waste.
- Other impacts: \_\_\_\_\_

1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated By Project Change
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
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<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

### IMPACT ON GROWTH AND CHARACTER OF COMMUNITY OR NEIGHBORHOOD

18. Will proposed action affect the character of the existing community?  
☒ NO ☐ YES

Examples that would apply to column 2

- The permanent population of the city, town or village in which the project is located is likely to grow by more than 5%.
- The municipal budget for capital expenditures or operating services will increase by more than 5% per year as a result of this project.
- Proposed action will conflict with officially adopted plans or goals.
- Proposed action will cause a change in the density of land use.
- Proposed Action will replace or eliminate existing facilities, structures or areas of historic importance to the community.
- Development will create a demand for additional community services (e.g. schools, police and fire, etc.)
- Proposed Action will set an important precedent for future projects.
- Proposed Action will create or eliminate employment.
- Other impacts: \_\_\_\_\_

1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated By Project Change
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
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<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

19. Is there, or is there likely to be, public controversy related to potential adverse environmental impacts?  
☒ NO ☐ YES

**If Any Action in Part 2 Is Identified as a Potential Large Impact or  
If You Cannot Determine the Magnitude of Impact, Proceed to Part 3**

## Part 3—EVALUATION OF THE IMPORTANCE OF IMPACTS

Responsibility of Lead Agency

Part 3 must be prepared if one or more impact(s) is considered to be potentially large, even if the impact(s) may be mitigated.

### Instructions

Discuss the following for each impact identified in Column 2 of Part 2:

1. Briefly describe the impact.
2. Describe (if applicable) how the impact could be mitigated or reduced to a small to moderate impact by project change(s).
3. Based on the information available, decide if it is reasonable to conclude that this impact is **important**.

To answer the question of importance, consider:

- The probability of the impact occurring
- The duration of the impact
- Its irreversibility, including permanently lost resources of value
- Whether the impact can or will be controlled
- The regional consequence of the impact
- Its potential divergence from local needs and goals
- Whether known objections to the project relate to this impact.

(Continue on attachments)

# Appendix B

## State Environmental Quality Review

### Visual EAF Addendum

This form may be used to provide additional information relating to Question 11 of Part 2 of the Full EAF.

(To be completed by Lead Agency)

Visibility	Distance Between Project and Resource (in Miles)				
	0-1/4	1/4-1/2	1/2-3	3-5	5+
1. Would the project be visible from:					
• A parcel of land which is dedicated to and available to the public for the use, enjoyment and appreciation of natural or man-made scenic qualities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• An overlook or parcel of land dedicated to public observation, enjoyment and appreciation of natural or man-made scenic qualities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• A site or structure listed on the National or State Registers of Historic Places?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• State Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• The State Forest Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• National Wildlife Refuges and state game refuges?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• National Natural Landmarks and other outstanding natural features?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• National Park Service lands?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Rivers designated as National or State Wild, Scenic or Recreational?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Any transportation corridor of high exposure, such as part of the Interstate System, or Amtrak?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• A governmentally established or designated interstate or inter-county foot trail, or one formally proposed for establishment or designation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• A site, area, lake, reservoir or highway designated as scenic?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Municipal park, or designated open space?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• County road?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• State?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Local road?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

2. Is the visibility of the project seasonal? (i.e., screened by summer foliage, but visible during other seasons)

☐ Yes ☐ No

3. Are any of the resources checked in question 1 used by the public during the time of year during which the project will be visible?

☐ Yes ☐ No

Attachment 1

EAF - Part I

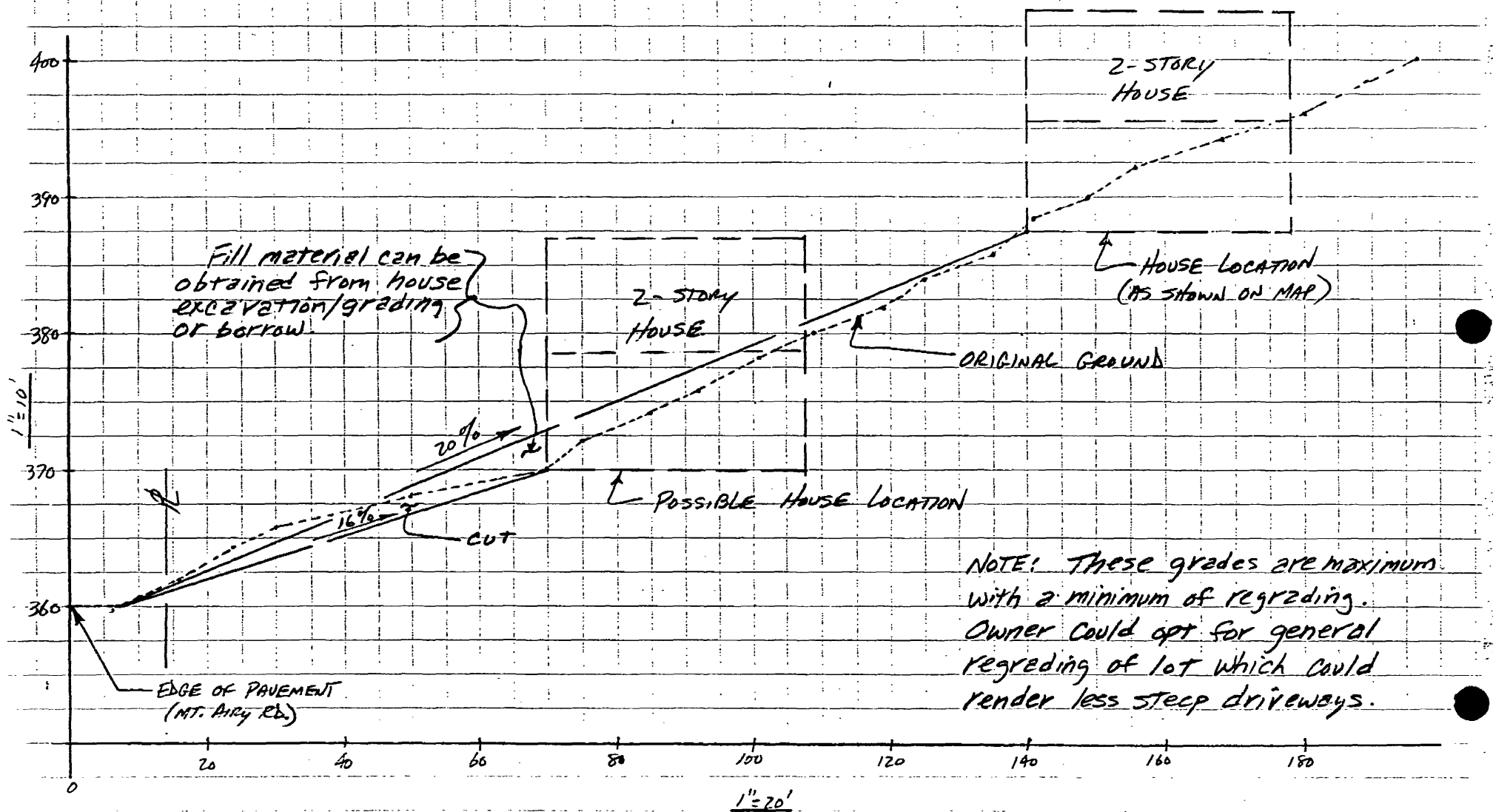
A. Site Description

3. There is presently 5.37 acres of meadow within the parcel to be subdivided. Approximately 1.42 acres of this will be developed with the remainder to become lawn.

EAF - Part 2

Impact on Land

1. Construction, which will consist of driveways and foundations, will be minimal as the project will develop 3.44 acres of the 13.68 acre parcel.



### POSSIBLE DRIVEWAY GRADES

- BENEDICT POND ESTATES SUBD. -

- LOT #1 -  
(WORST CASE SCENARIO)

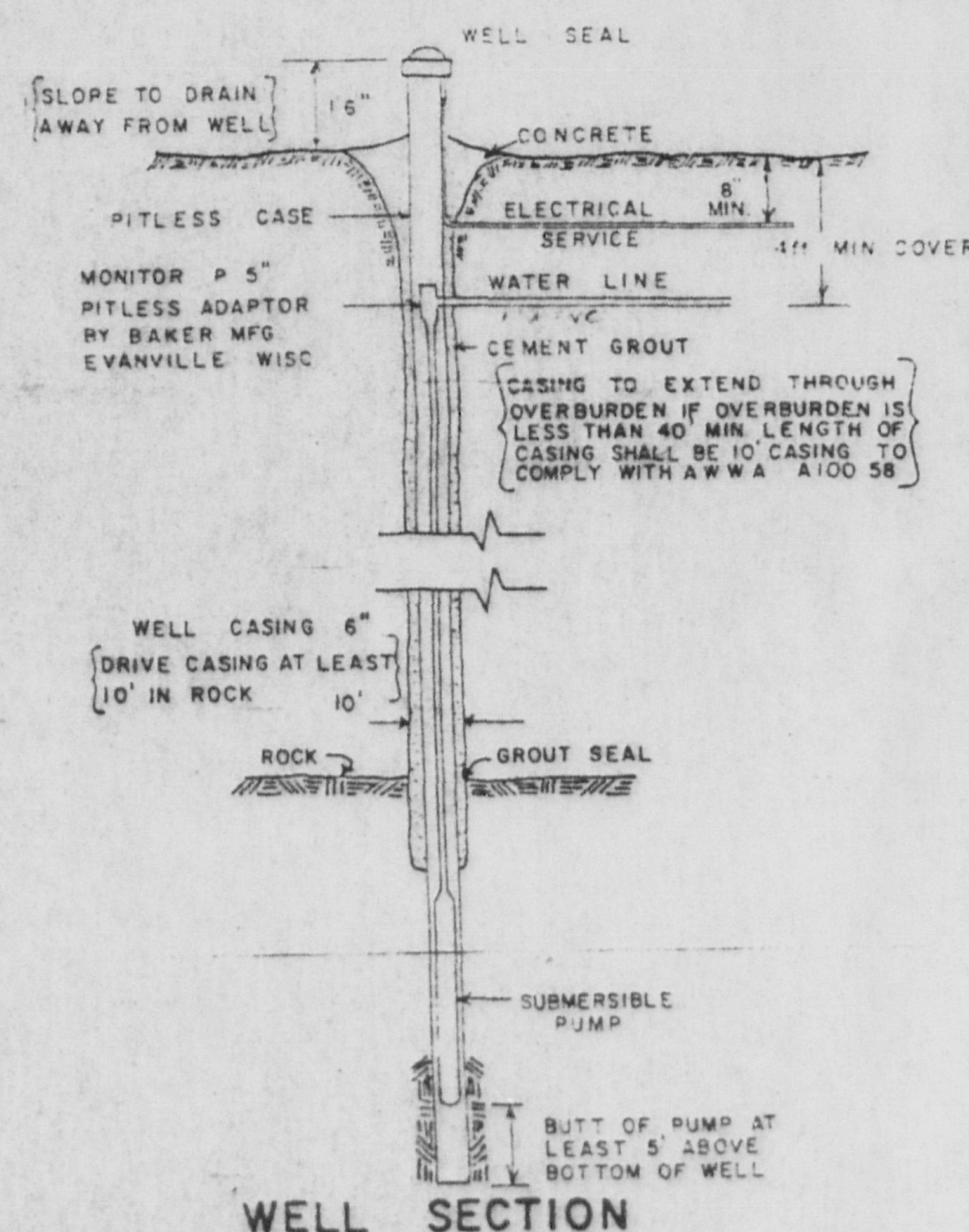
BY: CLARK ENGINEERS, P.C.  
CHARLES P. WALCZAK, P.E.  
10/29/87



# TREE CLEARING RESTRICTION

Clearing of conifer trees on Lots 9, 10, 11 and 12 shall be restricted to an area within the lot, the perimeter of which is defined by the following dimensions as measured outward from the principal structure's outside building walls:

- 15 feet from the side elevation walls of the principal structure
- 30 feet from the front elevation wall of the principal structure, and
- 50 feet from the rear elevation wall of the principal structure



WELL SECTION

## NOTES:

- HOUSE LOCATIONS AS SHOWN HEREON, ARE PRELIMINARY SITINGS WITHIN THE LOTS. ACTUAL HOUSE LOCATIONS WILL BE WITHIN THE LOTS' BUILDABLE AREA.
- SANITARY SEWER LATERAL SERVICE STUBS SHALL EXTEND TO 5 FEET BEYOND THE FRONT LOT LINE.
- ZONING DISTRICT R-3 TOTAL AREA TO BE SUBDIVIDED - 13.681 ACRES TOTAL NUMBER OF PROPOSED LOTS - 13

## AREA SUMMARY

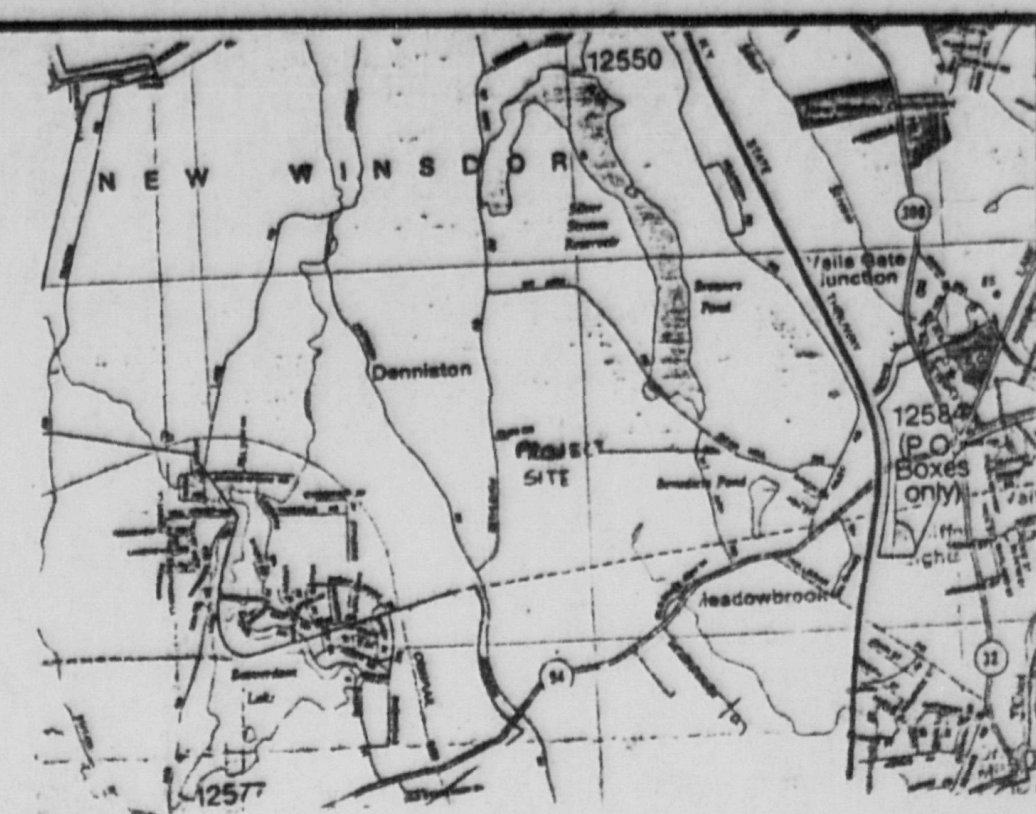
LOT	ACRES	SQ. FT.
1	1.79	84,300
2	1.80	85,100
3	1.82	85,800
4	1.84	86,500
5	1.86	87,200
6	1.88	87,900
7	1.90	88,600
8	1.92	89,300
9	1.94	90,000
10	1.96	90,700
11	1.98	91,400
12	2.00	92,100
13	2.02	92,800

- The 1440 LF. OF 8" P.V.C. SANITARY SEWER EXPANSION AS PROPOSED IS TRIBUTED TO SEWER DISTRICT NO. 19.
- A 10' WIDE EASEMENT IS RESERVED AROUND THE PERIMETER OF ALL LOTS FOR THE INSTALLATION, MAINTENANCE AND REPAIR OF UTILITIES.
- DRIVEWAY LOCATIONS SHOWN ARE PRELIMINARY. THEY CAN BE RELOCATED WITH THE APPROVAL OF THE TOWN ENGINEER.
- PIPE CULVERTS UNDER ALL DRIVEWAYS ARE TO BE 15" & CIP.
- THE MAXIMUM ALLOWABLE SLOPE FOR ALL DRAWINGS IS TO BE 1%. THE SLOPE FROM THE EDGE OF PAVEMENT TO THE ROADWAY R.O.W. LINE FOR ALL DRIVEWAYS IS TO BE A MAXIMUM OF 1"/FT.
- ALL EXISTING DITCHES ALONG MOUNT AIRY ROAD AND DEAN HILL ROAD ARE TO BE CLEARED OF ALL DEBRIS AND DRENCHED FOR PROPER DRAINAGE. ALSO, THE 2 PIPE CULVERTS UNDER MOUNT AIRY ROAD AND THE 1 PIPE CULVERT UNDER DEAN HILL ROAD ARE TO BE CLEARED FOR PROPER DRAINAGE.
- ALL BASEMENT, ROOF AND FOOTING DRAINS OF EACH HOUSE SHALL DRAIN TO THE EXTERIOR GRADE WITH APPROPRIATE PIPING. THE CONNECTION OF THESE LINES, INCLUDING SUMP PUMP LINES, TO THE SANITARY SEWER PIPING IS STRICTLY PROHIBITED.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE N.Y. EDUCATION LAW.



LEGEND	
[Symbol]	4x4 CONCRETE MONUMENT FOUND
[Symbol]	STONE WALL
[Symbol]	TOPOGRAPHIC CONTOUR LINE
[Symbol]	UTILITY POLE
[Symbol]	EXISTING MANHOLE
[Symbol]	NEW MANHOLE
[Symbol]	LOT NUMBER
[Symbol]	BUILDING SETBACK LINES
[Symbol]	PRELIMINARY HOUSE LOCATION
[Symbol]	EXISTING BUILDINGS
[Symbol]	HOUSE WELL
[Symbol]	UNIMPAVED PROPERTY CORNERS



NOTE: AT&T Easement as described in Liber 881, Page 507. No building structure is permitted within 50 feet of overhead wires.

New York State Department of Environmental Conservation  
These plans for Town of New Windsor (13 Lot) Sub-Division Sewer Extension Serving Benedict Pond Estates, Town of New Windsor, Orange County, NY are hereby approved subject to the provisions of the Environmental Conservation Law and the construction approval issued this day.  
COMMISSIONER OF ENVIRONMENTAL CONSERVATION  
*George M. Maffei*  
Designated Representative  
Date: 4/16/83

SUBDIVISION NAME: BENEDECT POND ESTATES			
ORIGINAL OWNER/DEVELOPER: MR. MICHAEL PERDUE			
NUMBER OF LOTS: 13			
AREA OF PROPOSED SUBDIVISION: 13.681 ACRES			
NUMBER OF PROPOSED RESIDENTIAL LOTS: 13			
EXISTING LAND USE: 4-3 RESIDENTIAL			
TAX MAP REFERENCE: SECTION 45, BLOCK 1, LOT 10, TOWN OF NEW WINDSOR			
MUNICIPAL MAPS/COLLARS			
(6-3) SHOWING WITH EXISTING SANITARY SEWER SERVICE AND UTILITIES: WELL SYSTEMS			
BEST FACTOR		PROPOSED REQUIREMENTS	
LOT AREA	STREET FRONTAGE	LOT AREA	STREET FRONTAGE
27,870 SQ. FT. (10.75 ACRES)	100 FT.	27,870 SQ. FT. (10.75 ACRES)	100 FT.
LOT WIDTH & BLDG. LINES	100 FT.	LOT WIDTH & BLDG. LINES	100 FT.
ROAD FRONTAGE	100 FT.	ROAD FRONTAGE	100 FT.
ROAD ALIGNMENT	100 FT.	ROAD ALIGNMENT	100 FT.
ROAD WIDTH	100 FT.	ROAD WIDTH	100 FT.
ROAD DEPTH	100 FT.	ROAD DEPTH	100 FT.

BENEDECT POND ESTATES  
TOWN OF NEW WINDSOR  
ORANGE COUNTY, NEW YORK  
CLARK ENGINEERS, D.S., P.C.  
259 ROUTE 17K  
NEWBURGH, NEW YORK 12550  
DESIGNED BY: DBC  
CHECKED BY: MAR  
DATE: 4/16/83



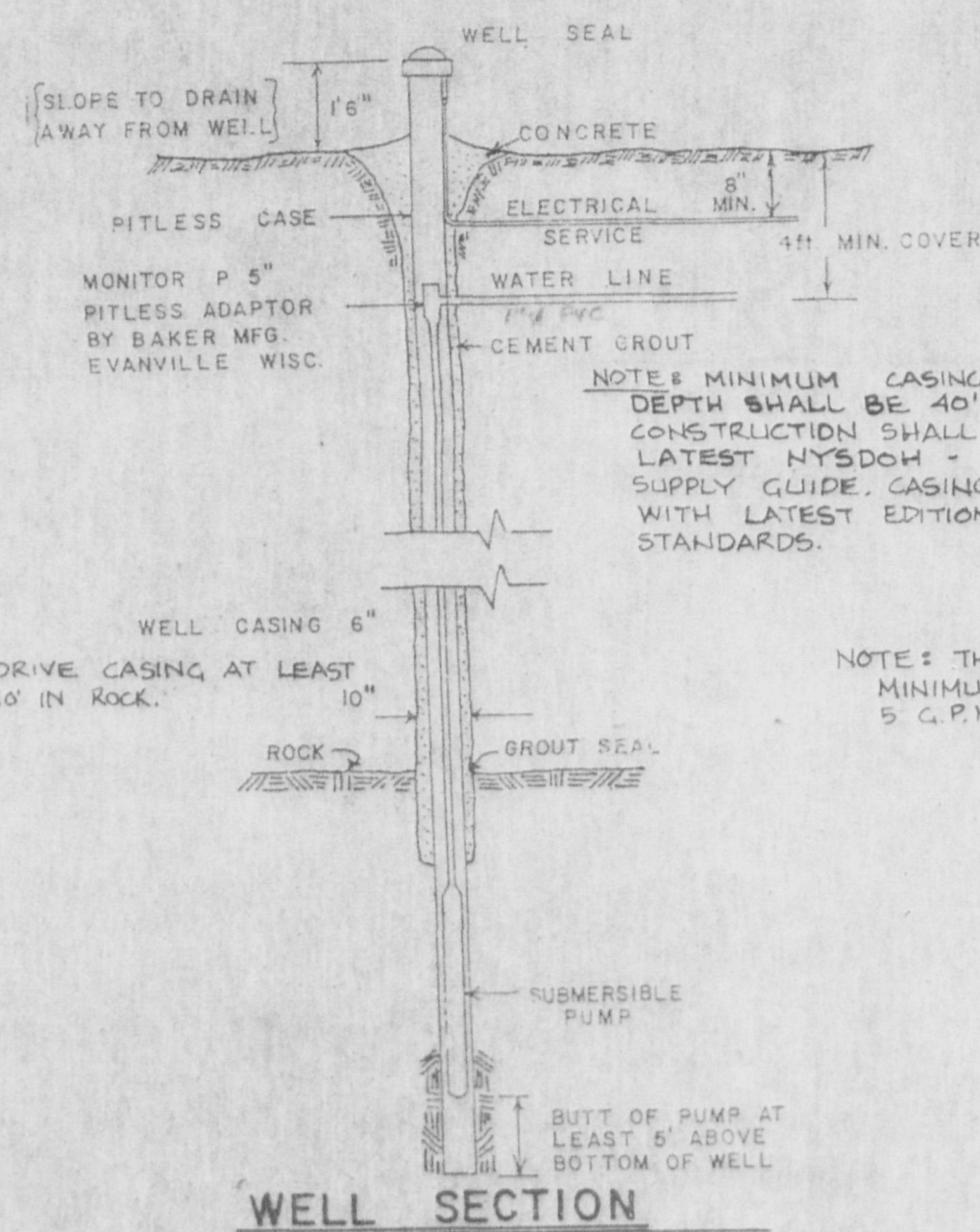




# TREE CLEARING RESTRICTION

Clearing of conifer trees on Lots 9, 10, 11 and 12 shall be restricted to an area within the lot, the perimeter of which is defined by the following dimensions as measured outward from the principal structure's outside building walls:

- 15 feet from the side elevation walls of the principal structure
- 30 feet from the front elevation wall of the principal structure, and
- 50 feet from the rear elevation wall of the principal structure



WELL SECTION

## NOTES:

- HOUSE LOCATIONS AS SHOWN HEREON, ARE PRELIMINARY SITINGS WITHIN THE LOTS. ACTUAL HOUSE LOCATIONS WILL BE WITHIN THE LOT'S BUILDABLE AREA.
- SANITARY SEWER LATERAL SERVICE STUBS SHALL EXTEND TO 5 FEET BEYOND THE FRONT LOT LINE.
- ZONING DISTRICT - R-3  
TOTAL AREA TO BE SUBDIVIDED - 13.681 ACRES  
TOTAL NUMBER OF PROPOSED LOTS - 13
- THE 1440 L.P. OF 8" P.V.C. SANITARY SEWER EXPANSION AS PROPOSED IS ATTRIBUTED TO SEWER DISTRICT NO. 16.
- A 10' WIDE EASEMENT IS RESERVED AROUND THE PERIMETER OF ALL LOTS FOR THE INSTALLATION, MAINTENANCE AND REPAIR OF UTILITIES.
- DRIVEWAY LOCATIONS SHOWN ARE PRELIMINARY. THEY CAN BE ALLOCATED WITH THE APPROVAL OF THE TOWN ENGINEER.
- PIPE CULVERTS UNDER ALL DRIVEWAYS ARE TO BE 15" Ø CSP.
- THE MAXIMUM ALLOWABLE SLOPE FOR ALL DRIVEWAYS IS TO BE 16%. THE SLOPE FROM THE EDGE OF PAVEMENT TO THE ROADWAY R.O.M. LINE FOR ALL DRIVEWAYS IS TO BE A MAXIMUM OF 1" / FT.
- ALL EXISTING DITCHES ALONG MOUNT AIRY ROAD AND DEAN HILL ROAD ARE TO BE CLEARED OF ALL DEBRIS AND DEEPENED FOR PROPER DRAINAGE. ALSO, THE 2 PIPE CULVERTS UNDER MT. AIRY ROAD AND THE 1 PIPE CULVERT UNDER DEAN HILL ROAD ARE TO BE CLEARED FOR PROPER DRAINAGE.
- ALL BASEMENT, ROOF AND FOOTING DRAINS OF EACH HOUSE SHALL DRAIN TO THE EXTERIOR GRADE WITH APPROPRIATE PIPING. THE CONSTRUCTION OF THESE LINES, INCLUDING SUMP PUMP LINES, TO THE SANITARY SEWER PIPING IS STRICTLY PROHIBITED.

## AREA SUMMARY

LOT	ACRE	SQ. FT.
1	.79	34,300
2	.80	35,100
3	.82	35,800
4	.80	34,900
5	.80	34,700
6	.91	39,500
7	1.11	48,200
8	1.05	45,700
9	.83	36,100
10	.79	34,400
11	.80	34,800
12	.81	35,300
13	2.61	113,700

NOTES CONTINUE ON SHEET 3 OF 3.



NOTE: AT&T Easement as described in Libor 681, Page 501.  
No building structure is permitted within 50 feet of overhead wires.

ORANGE COUNTY DEPARTMENT OF HEALTH  
DIVISION OF ENVIRONMENTAL HEALTH

This is to certify that the proposed subdivision is in accordance with the provisions of the County Department of Health and the provisions of the map on which this subdivision is based, and that the same comply with the provisions of Section 1117 of the Public Health Law.

ASSISTANT COMMISSIONER

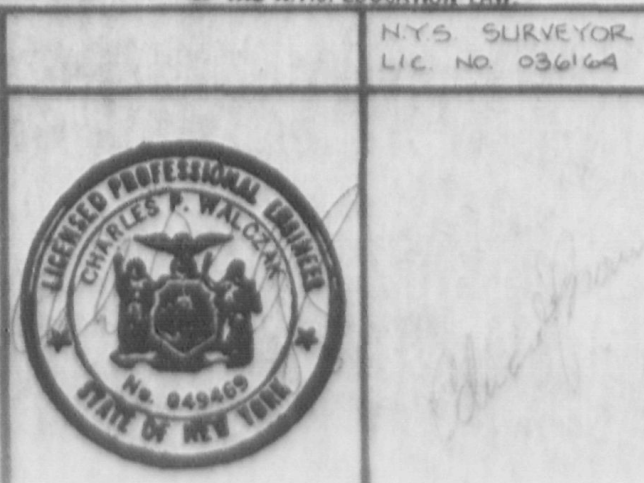
Subdivision: Benedict Pond Estates		
Contact: Owner/Developer: Mr. Michael Petrone 101 E. Box 6730 Hawthorne, New York		
Area of Proposed Subdivision: 13.68 Acres		
Number of Proposed Lots: 13		
Existing Land Zoning: R-3 (Residential)		
Tax Map Reference: Section 80, Block 1, Lot 50.2 Town of Windsor		
Minimum Lot: 0.79 Acres		
(R-3 Zoning with Central Sewer Service and Individual Well Systems)		
Minimum Requirements		
Urban Factor	Single Family	Two Family
Lot Area	32,670 Sq. Ft. (0.75 Acres)	65,340 Sq. Ft. (1.5 Acres)
Lot Width & Side Line	100 Ft.	150 Ft.
Road Frontage	50 Ft.	70 Ft.
Yard Setback		
Front Yard	25 Ft.	45 Ft.
Side Yard (each)	15 Ft.	20 Ft.
Side Yard (each)	10 Ft.	40 Ft.
Rear Yard	10 Ft.	50 Ft.
Survey Reference: Property boundary survey information shown was taken from a survey map prepared by Resonant-Burton-Scott, Inc. dated August 13, 1988.		

THIS SHEET IS INVALID & INCOMPLETE UNLESS ACCOMPANIED BY SHEETS 1 OF 3 AND 3 OF 3.

## LEGEND

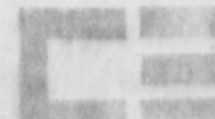
- 4x4 CONCRETE MONUMENT FOUND
- STONE WALL
- TOPOGRAPHIC CONTOUR LINE
- UTILITY POLE
- EXISTING MANHOLE
- NEW MANHOLE
- LOT NUMBER
- BUILDING SETBACK LINES
- PRELIMINARY HOUSE LOCATION
- EXISTING BUILDINGS
- HOUSE WELL
- UNMONUMENTED PROPERTY CORNERS

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE N.Y. EDUCATION LAW.



BENEDICT POND ESTATES

TOWN OF NEW WINDSOR  
ORANGE COUNTY, NEW YORK



CLARK ENGINEERS & PLANNERS  
250 ROUTE 17N  
NEWBURGH, NEW YORK 12550

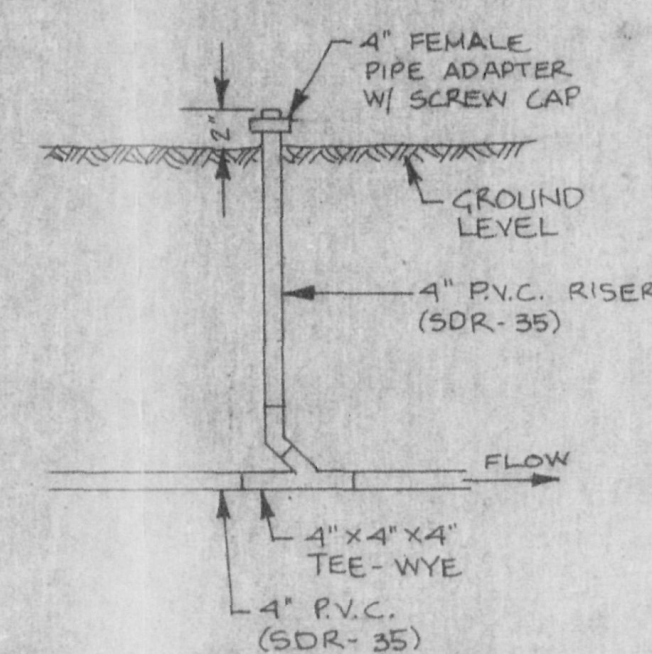




PROFILE: MT. AIRY ROAD

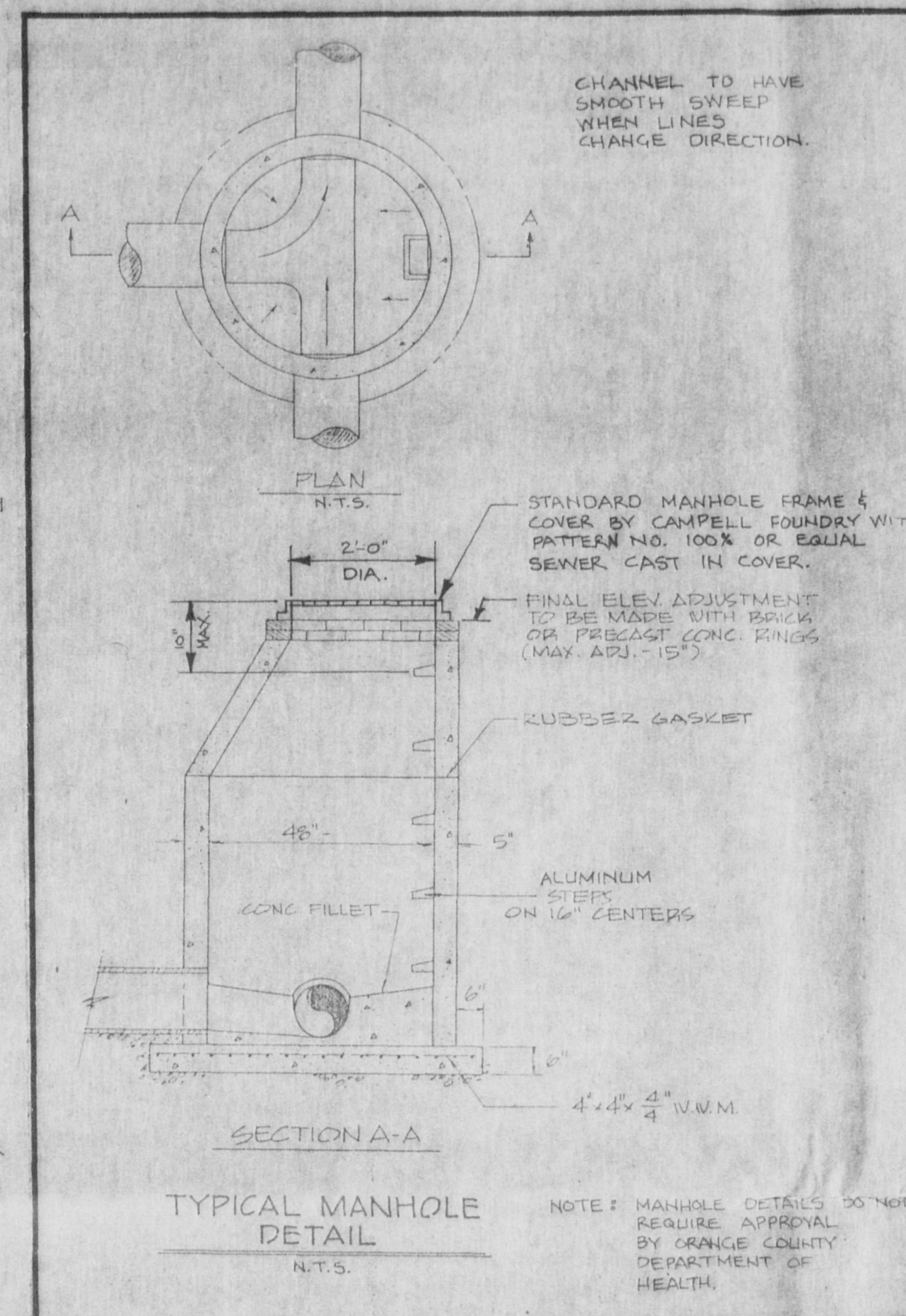
SCALE: 1" = 50' HORIZ.  
1" = 5' VERT.

- HOUSE CONNECTION TO SEWER DETAIL  
N.T.S.
1. Min. slope of lateral - 1/4" foot, except as otherwise noted.
  2. No chimney type construction shall be permitted. Laterals must rest on undisturbed ground or on crushed stone foundations.



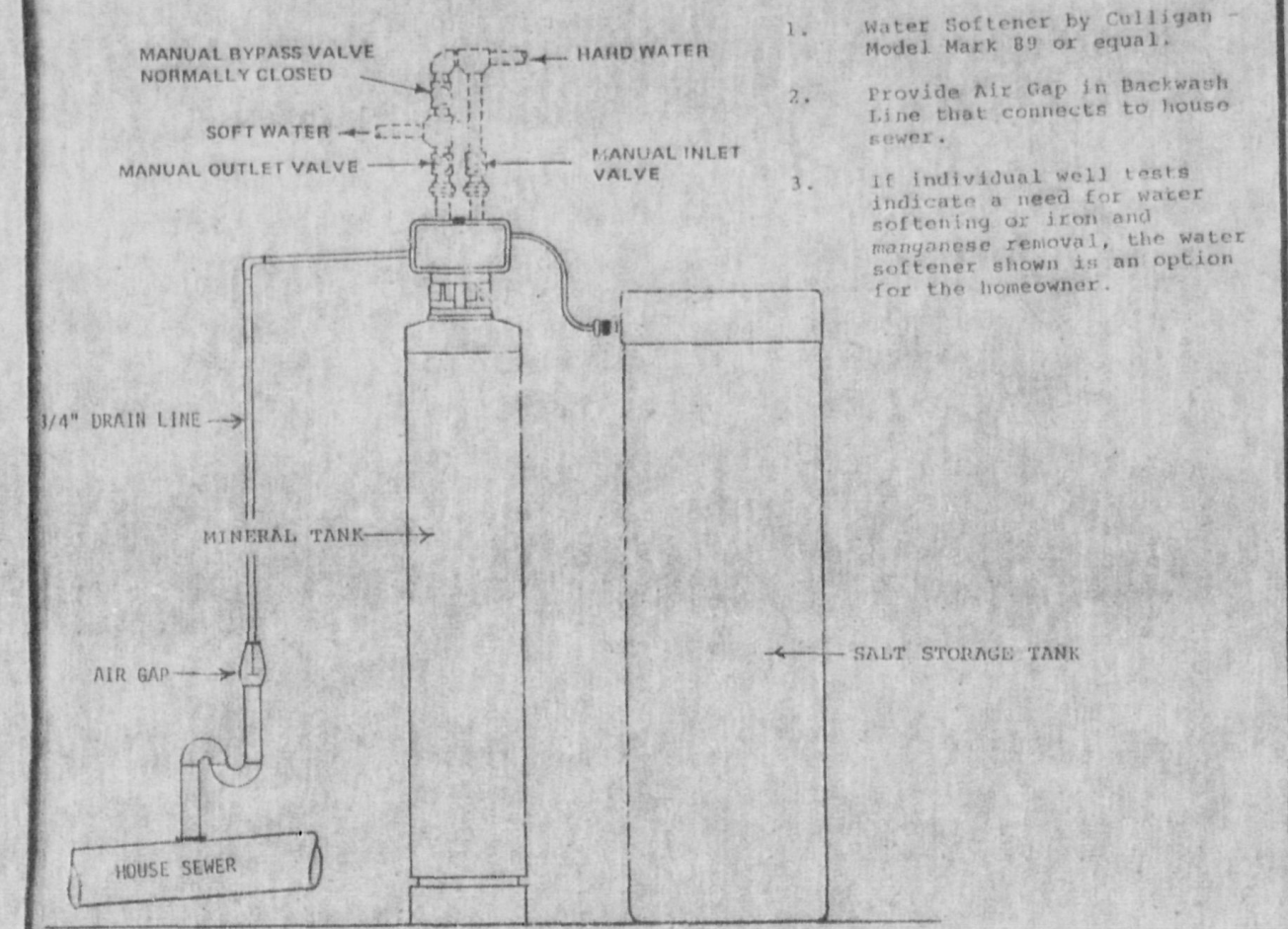
LATERAL CLEANOUTS ARE TO BE INSTALLED ON SERVICES GREATER THAN 75 FT IN LENGTH, SEE DWG. 2 OF 3 FOR LOCATIONS.

LATERAL CLEANOUT  
N.T.S.



TYPICAL MANHOLE  
DETAIL  
N.T.S.

CHANNEL TO HAVE  
SMOOTH SWEEP  
WHEN LINES  
CHANGE DIRECTION.



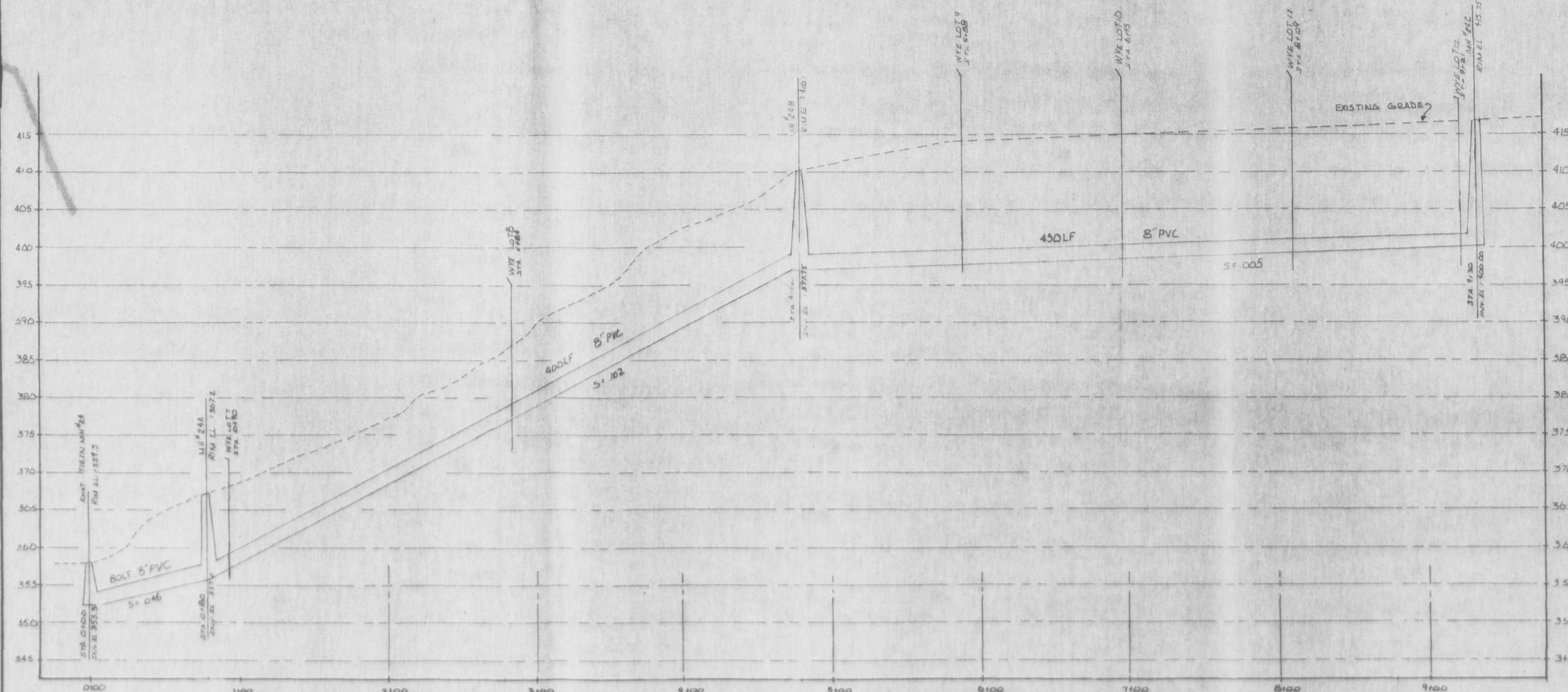
OPTIONAL WATER SOFTENER  
N.T.S.

ORANGE COUNTY DEPARTMENT OF HEALTH  
DIVISION OF ENVIRONMENTAL HEALTH

This is to certify that the proposed arrangements for water supply and sewer removal for this realty subdivision in accordance with the laws of the County of Orange, New York, have been approved by the Department of Health and the Department of Environmental Health. The provisions of Section 1117 of the Public Health Law.

ASSISTANT COMMISSIONER

*[Signature]*

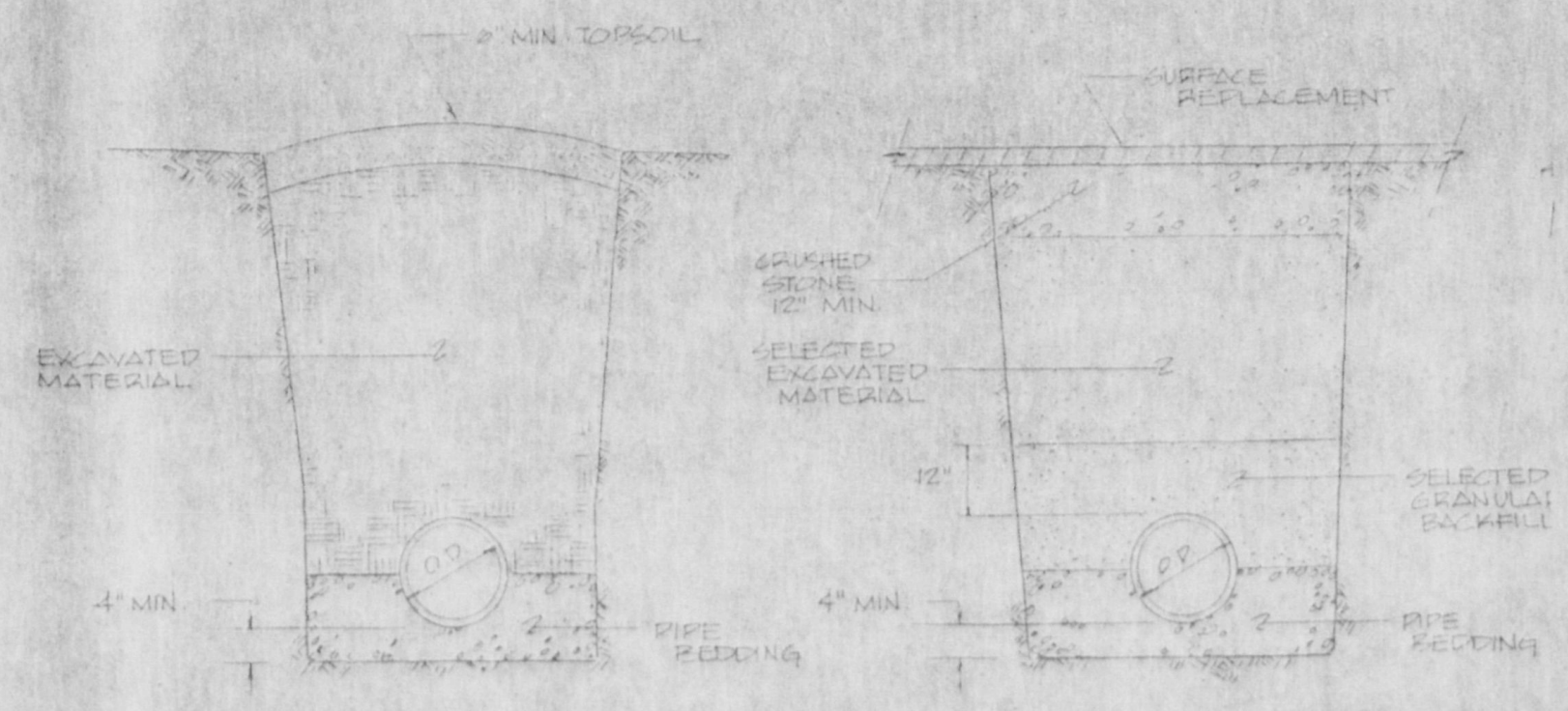


PROFILE: DEAN HILL ROAD

SCALE: 1" = 50' HORIZ. 1" = 5' VERT.

Notes: Continued from sheet 2 of 3.

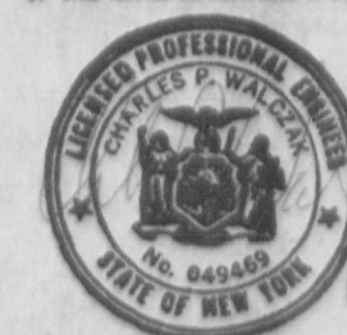
11. Minimum house sewer elevations are as shown on site plan sheet 2 of 3. Any relocation of houses will require an adjustment of house sewer elevation at a rate of 1" per foot.
12. Minimum separation between wells and sewer laterals shall be 50 feet.



SANITARY SEWER - TRENCH BACKFILL DETAILS  
N.T.S.

NOTE: THIS SHEET IS INVALID AND INCOMPLETE  
UNLESS ACCOMPANIED BY SHEET 1 OF 3  
AND 2 OF 3.

UNAUTHORIZED ALTERATION OR  
ADDITION TO THIS DRAWING  
IS A VIOLATION OF SECTION 7209 (2)  
OF THE N.Y.S. EDUCATION LAW.



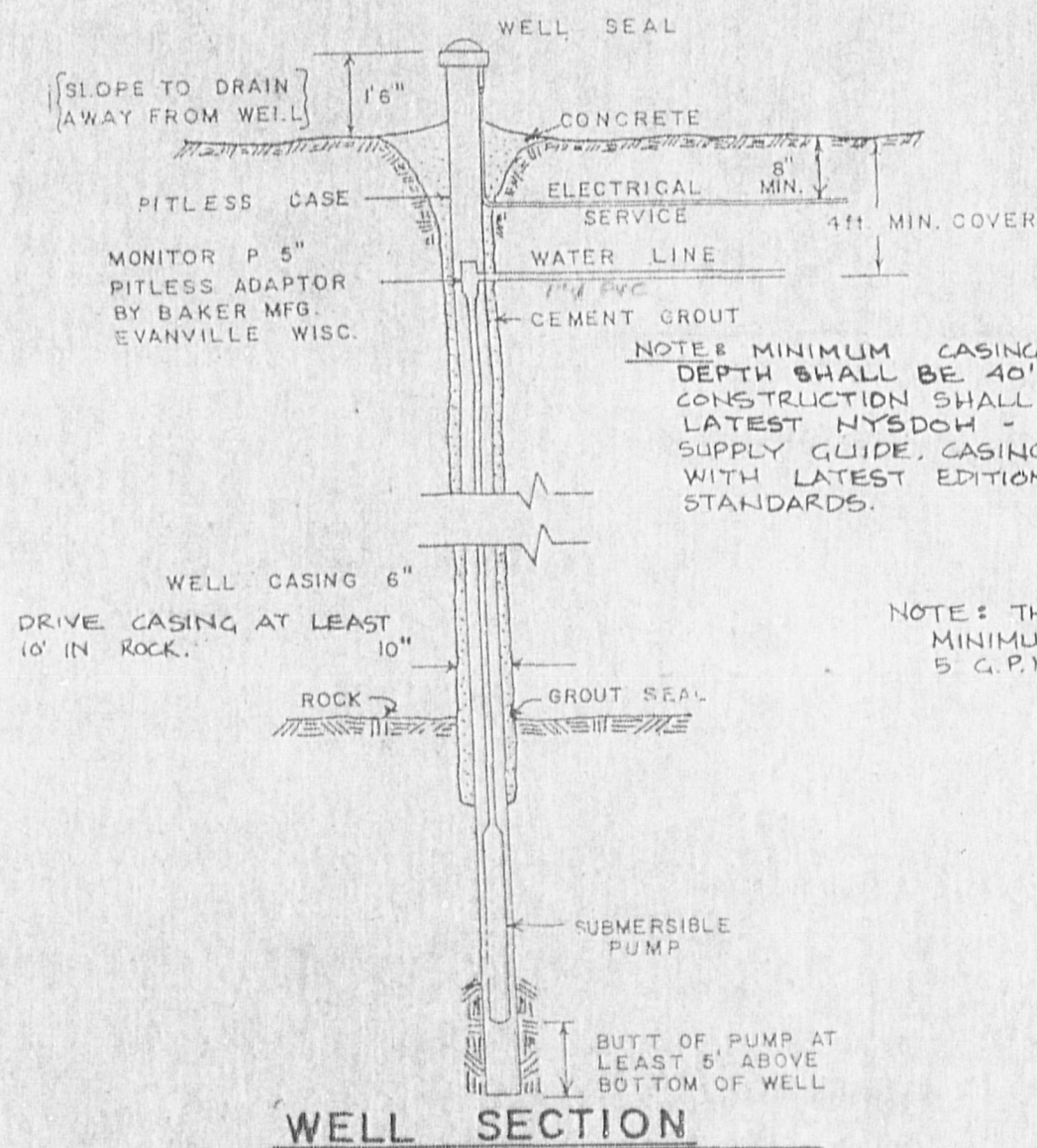
SEWER PROFILE AND DETAILS	
BENEDICT POND ESTATES TOWN OF NEWWINDSOR ORANGE COUNTY, NEW YORK	
CLARK ENGINEERS, P.C. 259 ROUTE 17K NEWBURGH, NEW YORK 12550	
DATE: 10.2.87	DESIGNED BY: DBC
CHECKED BY: DBC	AS SHOWN: 3 OF 3



# TREE CLEARING RESTRICTION

Clearing of conifer trees on Lots 9, 10, 11 and 12 shall be restricted to an area within the lot, the perimeter of which is defined by the following dimensions as measured outward from the principal structure's outside building walls:

- 15 feet from the side elevation walls of the principal structure
- 30 feet from the front elevation wall of the principal structure, and
- 50 feet from the rear elevation wall of the principal structure



NOTE: MINIMUM CASING AND GROUTING DEPTH SHALL BE 40'. WELL CONSTRUCTION SHALL COMPLY WITH LATEST NYSDOH - RURAL WATER SUPPLY GUIDE. CASING SHALL COMPLY WITH LATEST EDITION OF AWWA M20 STANDARDS.

NOTE: THE REQUIRED MINIMUM YIELD IS 5 G.P.M.

## NOTES:

- HOUSE LOCATIONS AS SHOWN HEREON, ARE PRELIMINARY SITINGS WITHIN THE LOTS. ACTUAL HOUSE LOCATIONS WILL BE WITHIN THE LOT'S BUILDABLE AREA.
- SANITARY SEWER LATERAL SERVICE STUBS SHALL EXTEND TO 5 FEET BEYOND THE FRONT LOT LINE.
- ZONING DISTRICT = R-3  
TOTAL AREA TO BE SUBDIVIDED = 13.681 ACRES  
TOTAL NUMBER OF PROPOSED LOTS = 13
- THE 1440 L.P. OF 8" P.V.C. SANITARY SEWER EXPANSION AS PROPOSED IS ATTRIBUTED TO SEWER DISTRICT NO. 16.
- A 10' WIDE EASEMENT IS RESERVED AROUND THE PERIMETER OF ALL LOTS FOR THE INSTALLATION, MAINTENANCE AND REPAIR OF UTILITIES.
- DRIVEWAY LOCATIONS SHOWN ARE PRELIMINARY. THEY CAN BE RELOCATED WITH THE APPROVAL OF THE TOWN ENGINEER.
- PIPE CULVERTS UNDER ALL DRIVEWAYS ARE TO BE 15" Ø CSP.
- THE MAXIMUM ALLOWABLE SLOPE FOR ALL DRIVEWAYS IS TO BE 16%.
- THE SLOPE FROM THE EDGE OF PAVEMENT TO THE ROADWAY R.O.W. LINE FOR ALL DRIVEWAYS IS TO BE A MAXIMUM OF 1" / FT.
- ALL EXISTING DITCHES ALONG MOUNT AIRY ROAD AND DEAN HILL ROAD ARE TO BE CLEARED OF ALL DEBRIS AND DEEPENED FOR PROPER DRAINAGE. ALSO, THE 2 PIPE CULVERTS UNDER MT. AIRY ROAD AND THE 1 PIPE CULVERT UNDER DEAN HILL ROAD ARE TO BE CLEARED FOR PROPER DRAINAGE.
- ALL BASEMENT, ROOF AND POOTING DRAINS OF EACH HOUSE SHALL DRAIN TO THE EXTERIOR GRADE WITH APPROPRIATE PIPING. THE CONNECTION OF THESE LINES, INCLUDING SUMP PUMP LINES, TO THE SANITARY SEWER PIPING IS STRICTLY PROHIBITED.

NOTES CONTINUE ON SHEET 3 OF 3.

LOT	ACRES	SQ. FT.
1	.79	34,300
2	.80	35,100
3	.82	35,400
4	.80	34,900
5	.80	34,700
6	.91	39,500
7	1.11	48,200
8	1.05	45,700
9	.83	36,100
10	.79	34,600
11	.80	34,800
12	.81	35,300
13	2.61	113,700



UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE N.Y.S. EDUCATION LAW.

NY'S SURVEYOR  
LIC. NO. 036164

LEGEND	
	4.4 CONCRETE MONUMENT FOUND
	STONE WALL
	TOPOGRAPHIC CONTOUR LINE
	UTILITY POLE
	EXISTING MANHOLE
	NEW MANHOLE
	LOT NUMBER
	BUILDING SETBACK LINES
	PRELIMINARY HOUSE LOCATION
	EXISTING BUILDINGS
	HOUSE WELL
	UNMONUMENTED PROPERTY CORNERS

THIS SHEET IS INVALID & INCOMPLETE UNLESS ACCOMPANIED BY SHEETS 1 OF 3 AND 3 OF 3.

<p>Subdivision: Benedict Pond Estates                      Contract owner/Developer: Mr. Michael Petrone                      Rt. 41, Box 6750                      Hudson, New York</p>		
<p>Area of Proposed Subdivision: 13.681 Acres                      Number of Proposed Lots: 13                      Existing Land Zoning: R-3 (Residential Individual)                      Tax Map Reference: Section 40, Block 1, Lot 58.2                      Town of Windsor</p>		
<p>Minimum Lot Width Criteria                      (R-3 Zoning with Central Sewer Service and Individual Well System)</p>		
Minimum Requirements	Single Family	Two Family
Lot Area	32,670 Sq. Ft. (0.75 Acres)	65,340 Sq. Ft. (1.5 Acres)
Lot Width @ Bldg Line	100 Ft.	150 Ft.
Road Frontage	50 Ft.	70 Ft.
Yard Setback:		
Front Yard	35 Ft.	45 Ft.
Side Yard (each)	15 Ft.	20 Ft.
Side Yard (each)	30 Ft.	40 Ft.
Rear Yard	40 Ft.	50 Ft.
<p>Survey Reference:                      Property boundary survey information shown was taken from a survey map prepared by Rescigno-Horton-Tecolli, dated August 29, 1988.</p>		

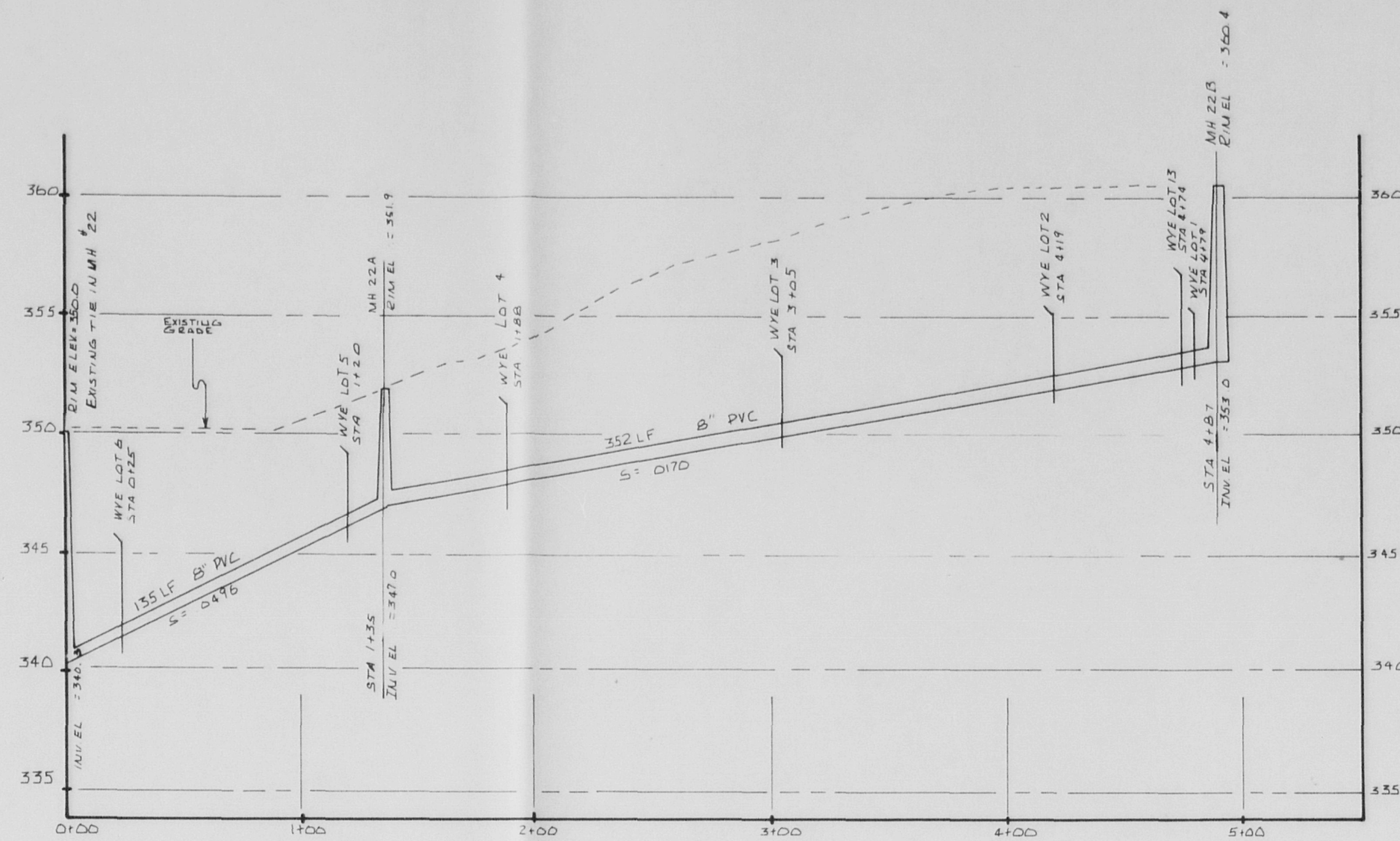
## BENEDICT POND ESTATES

TOWN OF NEW WINDSOR  
ORANGE COUNTY, NEW YORK



CLARK ENGINEERS, P.C.  
259 ROUTE 17K  
NEWBURGH, NEW YORK 12550

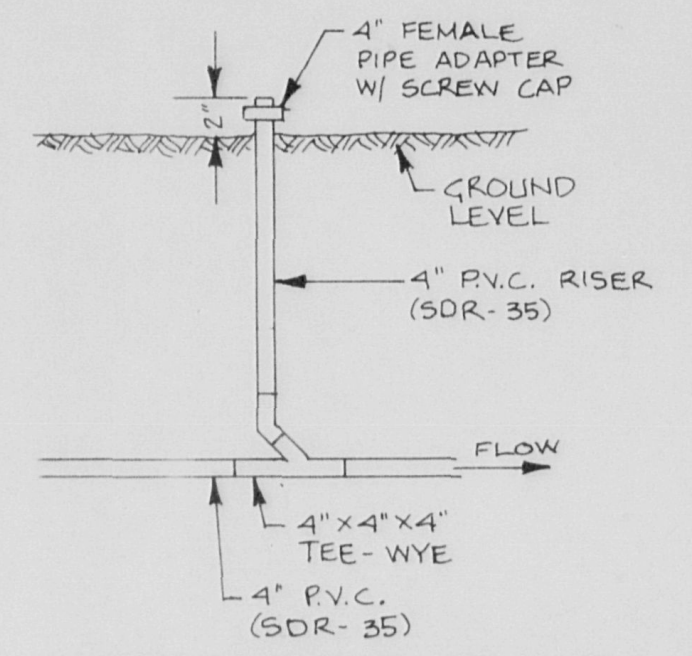




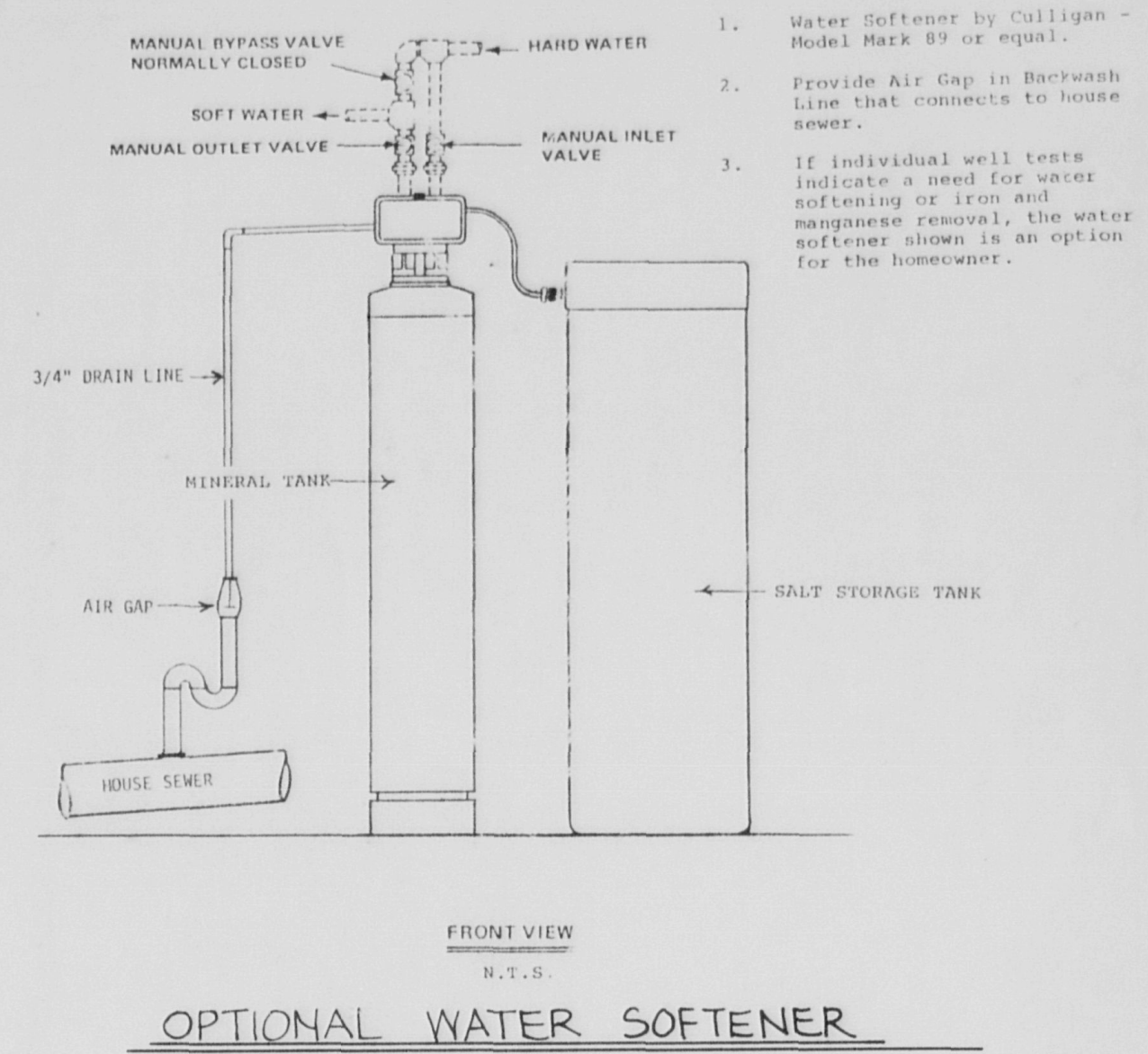
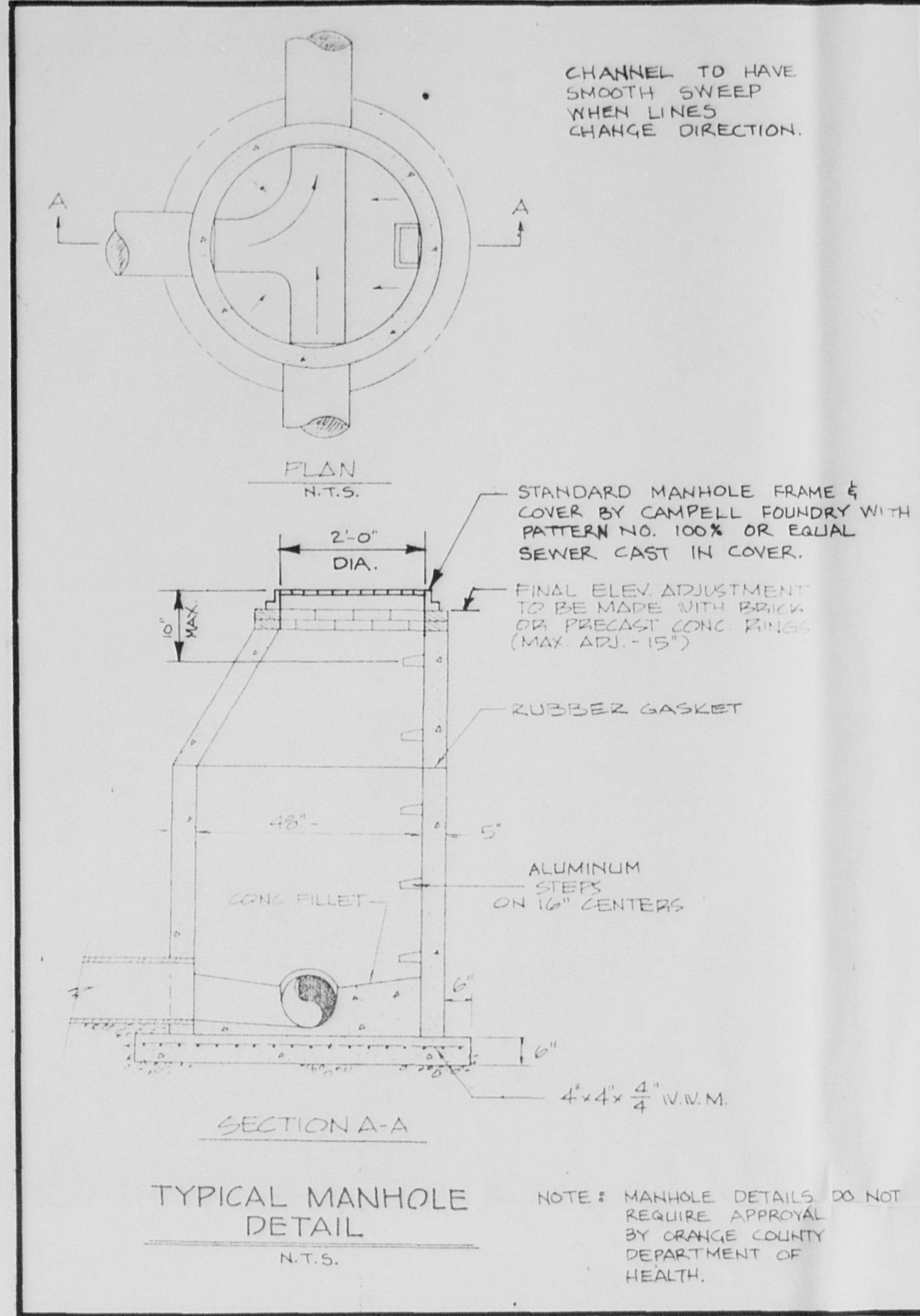
PROFILE MT. AIRY ROAD  
SCALE: 1" = 50' HORIZ.  
1" = 5' VERT.

HOUSE CONNECTION TO SEWER DETAIL  
N.T.S.

1. Min. slope of lateral - 1/4" foot, except as otherwise noted.
2. No chimney type construction shall be permitted. Laterals must rest on undisturbed ground or on crushed stone foundations.



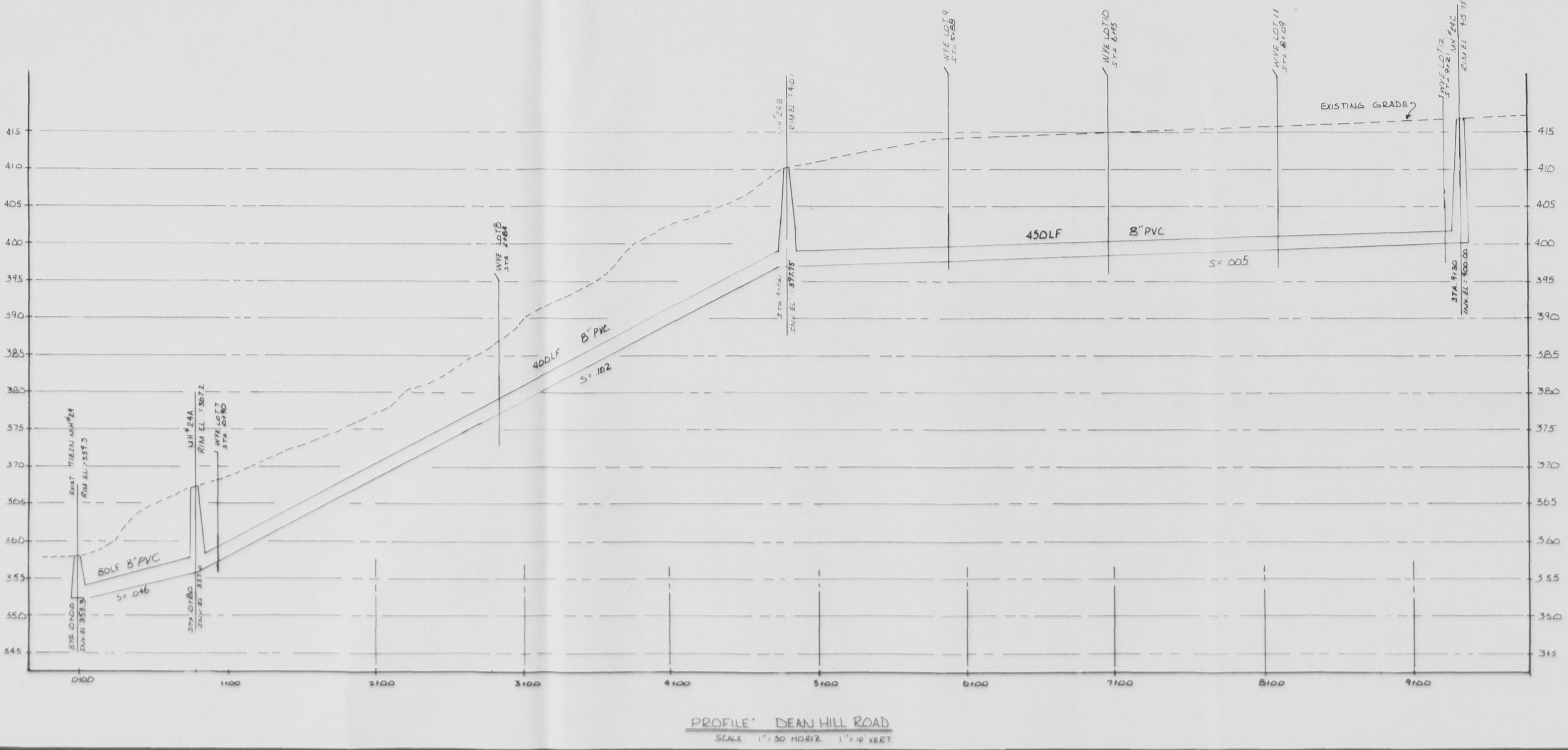
LATERAL CLEANOUTS ARE TO BE INSTALLED ON SERVICES GREATER THAN 15 FT IN LENGTH. SEE DWG. 2 OF 3 FOR LOCATIONS.  
LATERAL CLEANOUT  
N.T.S.



ORANGE COUNTY DEPARTMENT OF HEALTH  
DIVISION OF ENVIRONMENTAL HEALTH

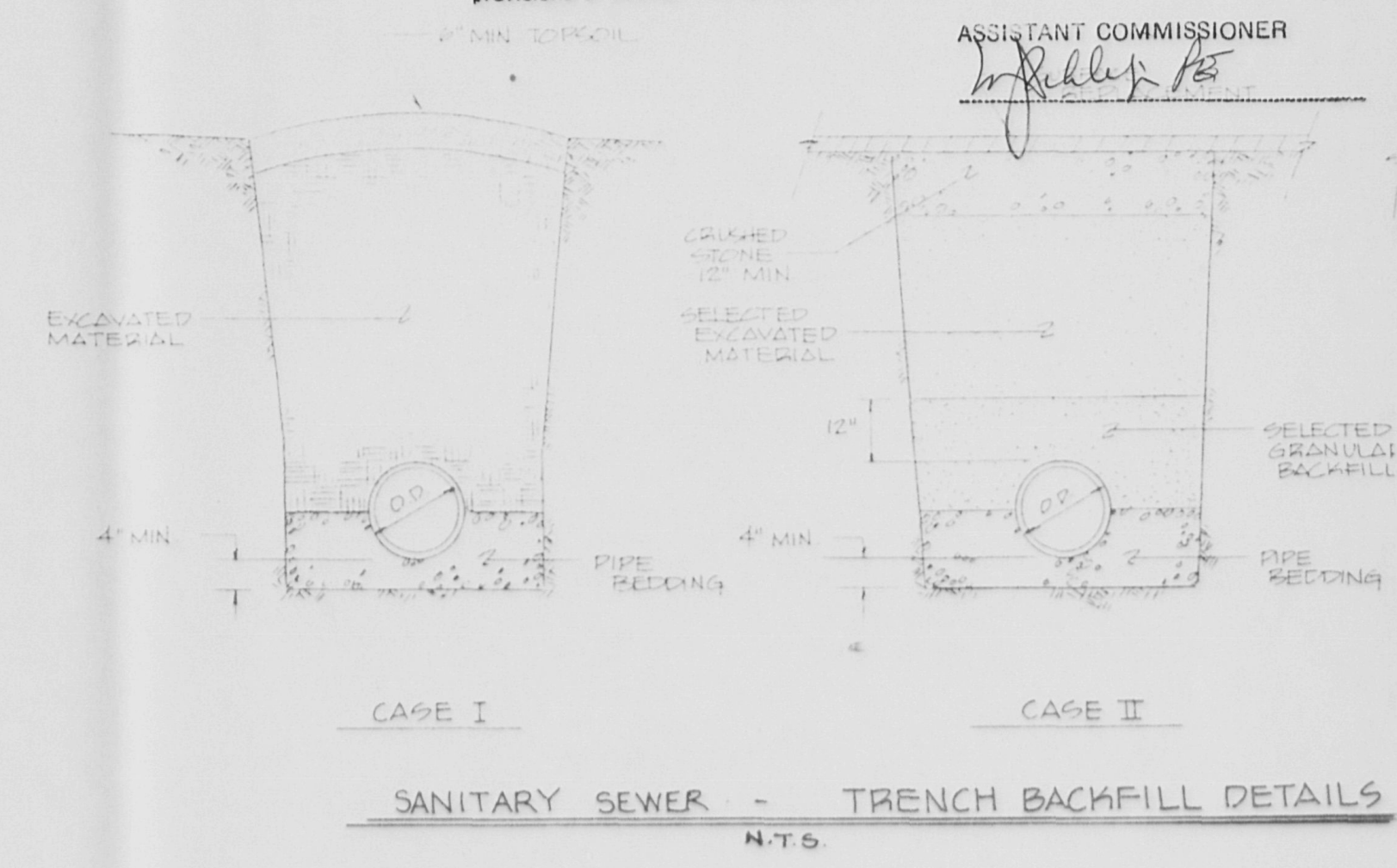
This is to certify that the proposed arrangements for water supply and sewage disposal in this realty subdivision are in accordance with plans on file in the office of the County Department of Health and hereby approved. Consent is hereby given to the filing of the map on which this endorsement appears in the office of the County Clerk in accordance with the provisions of Section 1117 of the Public Health Law.

ASSISTANT COMMISSIONER  
*[Signature]*



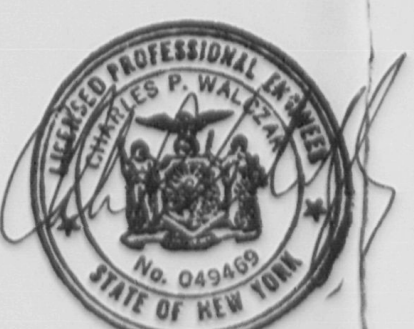
PROFILE DEAN HILL ROAD  
SCALE: 1" = 50' HORIZ. 1" = 10' VERT.

- Notes: Continued from sheet 2 of 3.
11. Minimum house sewer elevations are as shown on site plan sheet 2 of 3. Any relocation of houses will require an adjustment of house sewer elevation at a rate of 1" per foot.
  12. Minimum separation between wells and sewer laterals shall be 50 feet.



NOTE: THIS SHEET IS INVALID AND INCOMPLETE UNLESS ACCOMPANIED BY SHEET 1 OF 3 AND 2 OF 3.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE N.Y.S. EDUCATION LAW.



REVISION		SEWER PROFILE AND DETAILS	
DATE	DESCRIPTION	DATE	DESCRIPTION
12.27.87	MANHOLE REVISED	12.27.87	MANHOLE REVISED
12.27.87	WATER SOFTENER ADDED	12.27.87	WATER SOFTENER ADDED
12.27.87	SEWER CLEAN OUT ADDED	12.27.87	SEWER CLEAN OUT ADDED
12.27.87	NOTES ADDED	12.27.87	NOTES ADDED

BENEDICT POND ESTATE'S  
TOWN OF NEW WINDSOR  
ORANGE COUNTY, NEW YORK

CLARK ENGINEERS D.S., P.C.  
259 ROUTE 17K  
NEWBURGH, NEW YORK 12550

DATE: 12.27.87 DRAWN BY: DBC CHECKED BY: DBC AS SHOWN: 3 OF 3



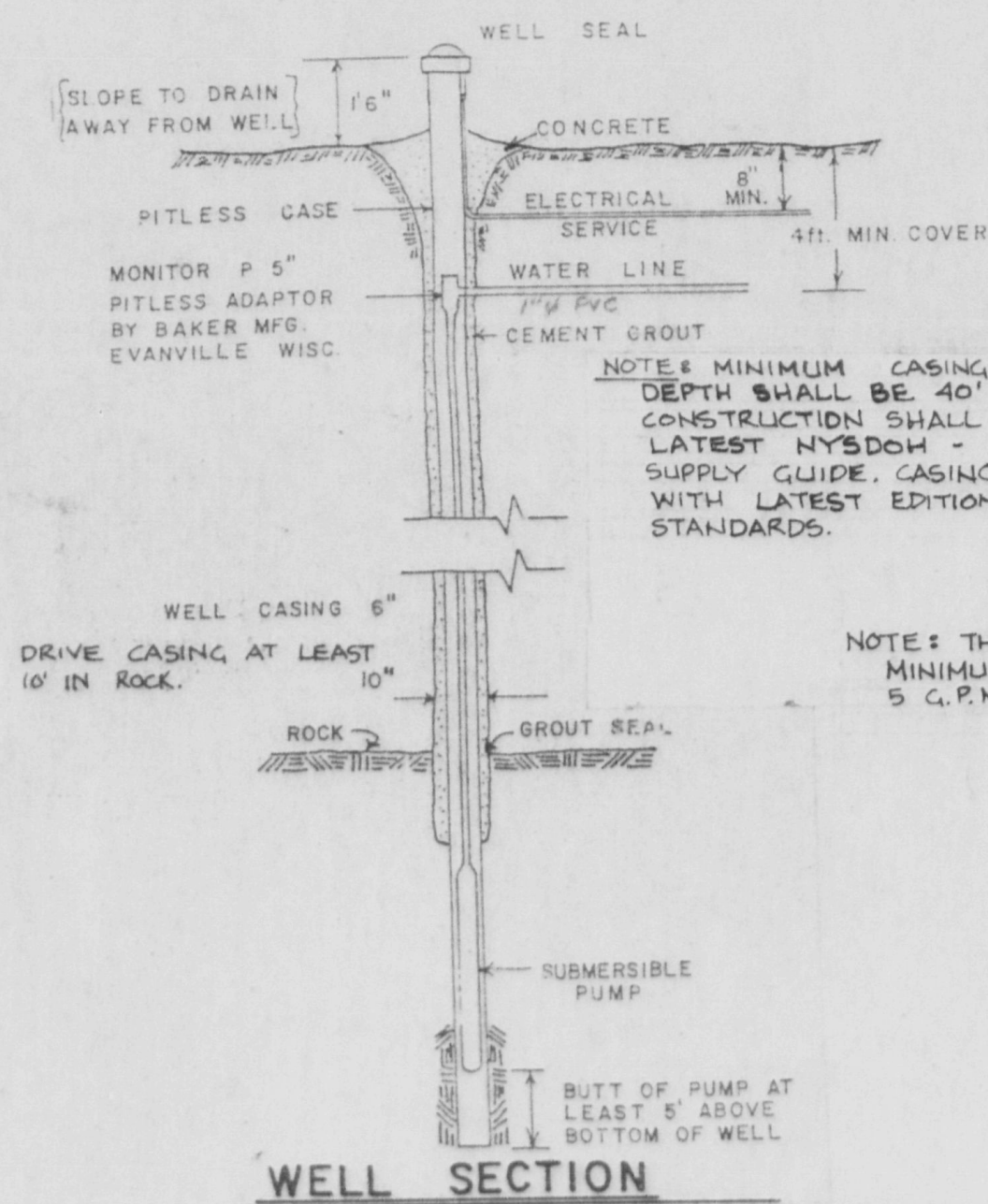




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- 50 feet from the rear elevation wall of the principal structure



NOTE: MINIMUM CASING AND GROUTING DEPTH SHALL BE 40'. WELL CONSTRUCTION SHALL COMPLY WITH LATEST NYS DOH - RURAL WATER SUPPLY GUIDE. CASING SHALL COMPLY WITH LATEST EDITION OF AWWA AND STANDARDS.

NOTE: THE REQUIRED MINIMUM YIELD IS 5 G.P.M.

## NOTES:

- HOUSE LOCATIONS AS SHOWN HEREON, ARE PRELIMINARY SITINGS WITHIN THE LOTS. ACTUAL HOUSE LOCATIONS WILL BE WITHIN THE LOT'S BUILDABLE AREA.
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- ZONING DISTRICT = R-3  
TOTAL AREA TO BE SUBDIVIDED = 13.681 ACRES  
TOTAL NUMBER OF PROPOSED LOTS = 13
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AREA SUMMARY

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9	.83	36,100
10	.79	34,600
11	.80	34,800
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13	2.61	113,700

NOTES CONTINUE ON SHEET 3 OF 3.



NOTE: AT&T Easement as described in Liber 681, Page 507. No building structure is permitted within 50 feet of overhead wires.

ORANGE COUNTY DEPARTMENT OF HEALTH  
DIVISION OF ENVIRONMENTAL HEALTH

This is to certify that the proposed arrangement for water supply and sewage disposal for this realty subdivision in accordance with plans on file in the office of the County Department of Health are hereby approved. Consent is hereby given to the filing of the map on which this endorsement appears in the office of the County Clerk in accordance with the provisions of Section 1117 of the Public Health Law.

ASSISTANT COMMISSIONER

Subdivision: Benedict Pond Estates  
Contract owner, Developer: Mr. Michael Felton  
RD #1, Box 6730  
Monticello, New York

Area of Proposed Sub: 13.681 Acres  
Number of Proposed Lots: 13  
Existing Land Zoning: R-3 (Suburban Residential)  
Tax Map Reference: Section 65, Block 1, Lot 58.2  
Town of Windsor

Minimum Lot Design Criteria  
(R-3 Zoning & 1/4 Central Sewer Service and Individual Well Systems)

Design Factor	Single Family	Two Family
Lot Area	32,570 Sq. Ft. (10.75 Acres)	65,740 Sq. Ft. (1.5 Acres)
Lot Width @ Rldg Line	100 Ft.	150 Ft.
Road Frontage	50 Ft.	70 Ft.
Yard setbacks:		
Front Yard	35 Ft.	45 Ft.
Side Yard (one)	15 Ft.	20 Ft.
Side Yard (both)	30 Ft.	40 Ft.
Rear Yard	40 Ft.	50 Ft.

Survey Reference:  
Property boundary survey information shown was taken from a survey map prepared by Benedict-Pond-Survey, Inc. dated August 17, 1988.

THIS SHEET IS INVALID & INCOMPLETE UNLESS ACCOMPANIED BY SHEETS 1 OF 3 AND 3 OF 3.

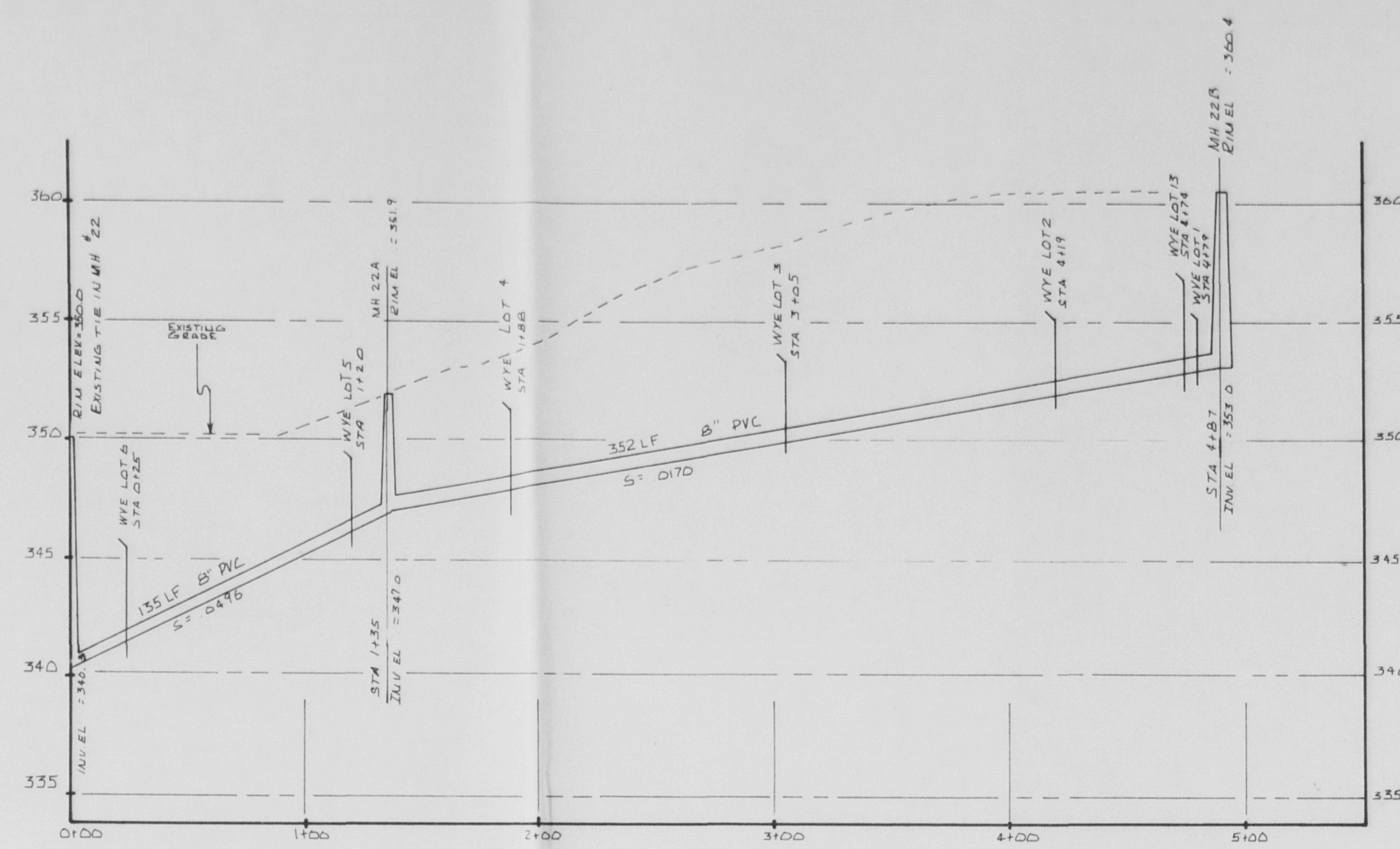
LEGEND

□	4.4 CONCRETE MONUMENT FOUND
—	STONE WALL
—	TOPOGRAPHIC CONTOUR LINE
○	UTILITY POLE
○	EXISTING MANHOLE
○	NEW MANHOLE
○	LOT NUMBER
—	BUILDING SETBACK LINES
—	PRELIMINARY HOUSE LOCATION
—	EXISTING BUILDINGS
○	HOUSE WELL
○	UNMONUMENTED PROPERTY CORNERS

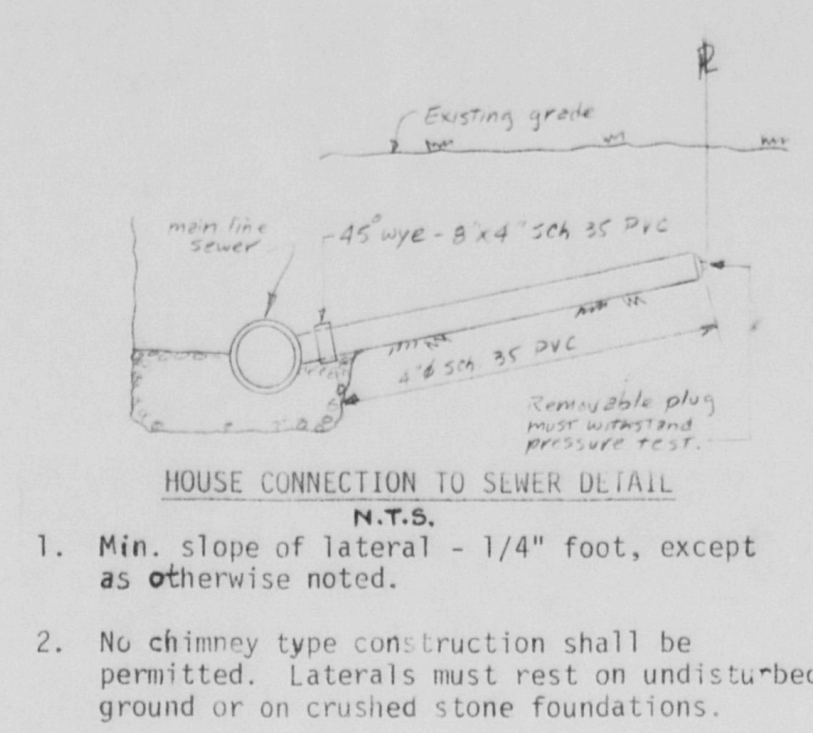
BENEDICT POND ESTATES  
TOWN OF NEW WINDSOR  
ORANGE COUNTY, NEW YORK

CLARK ENGINEERS & PC  
229 ROUTE 17K  
NEWBURGH, NEW YORK 12550

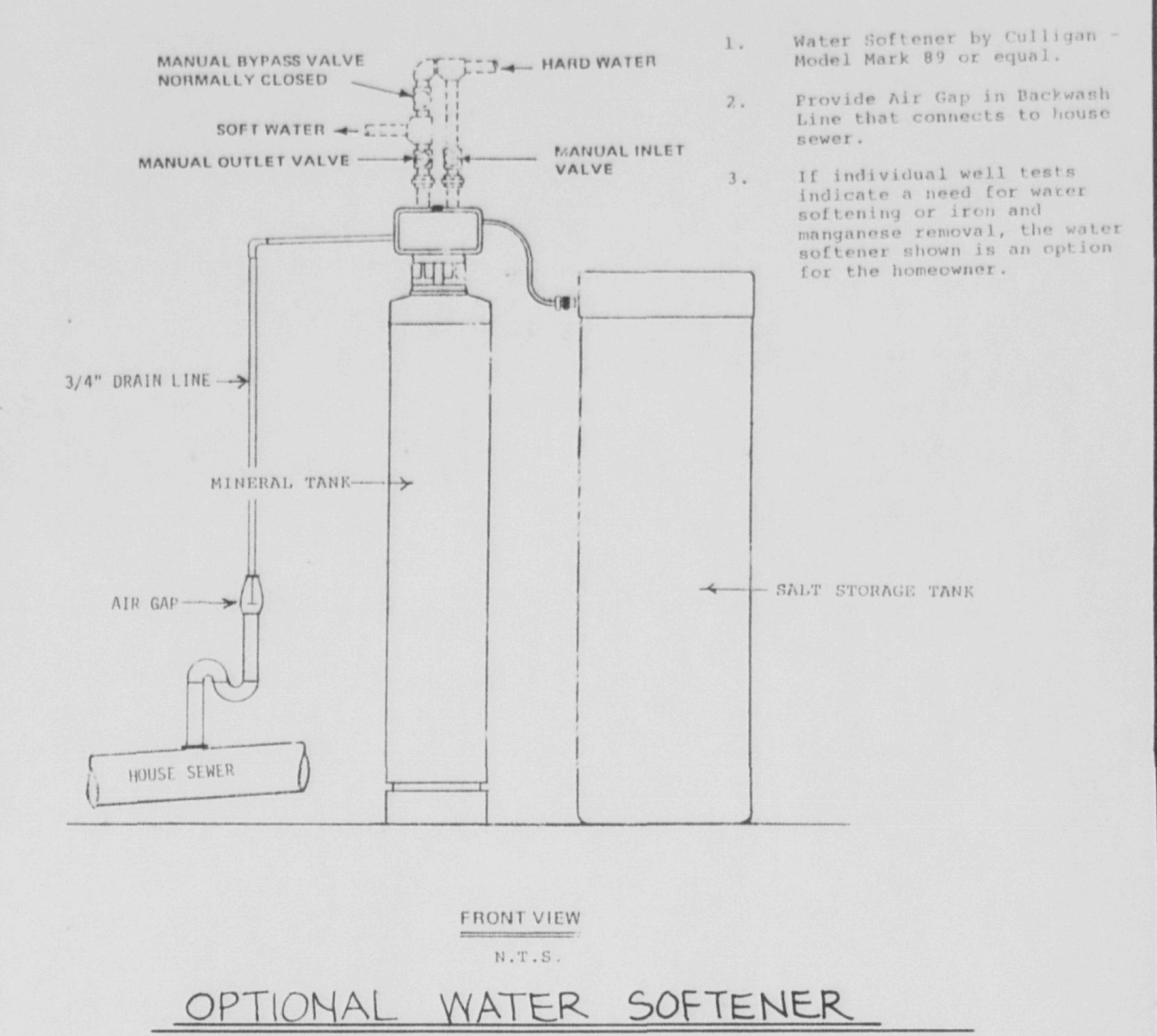
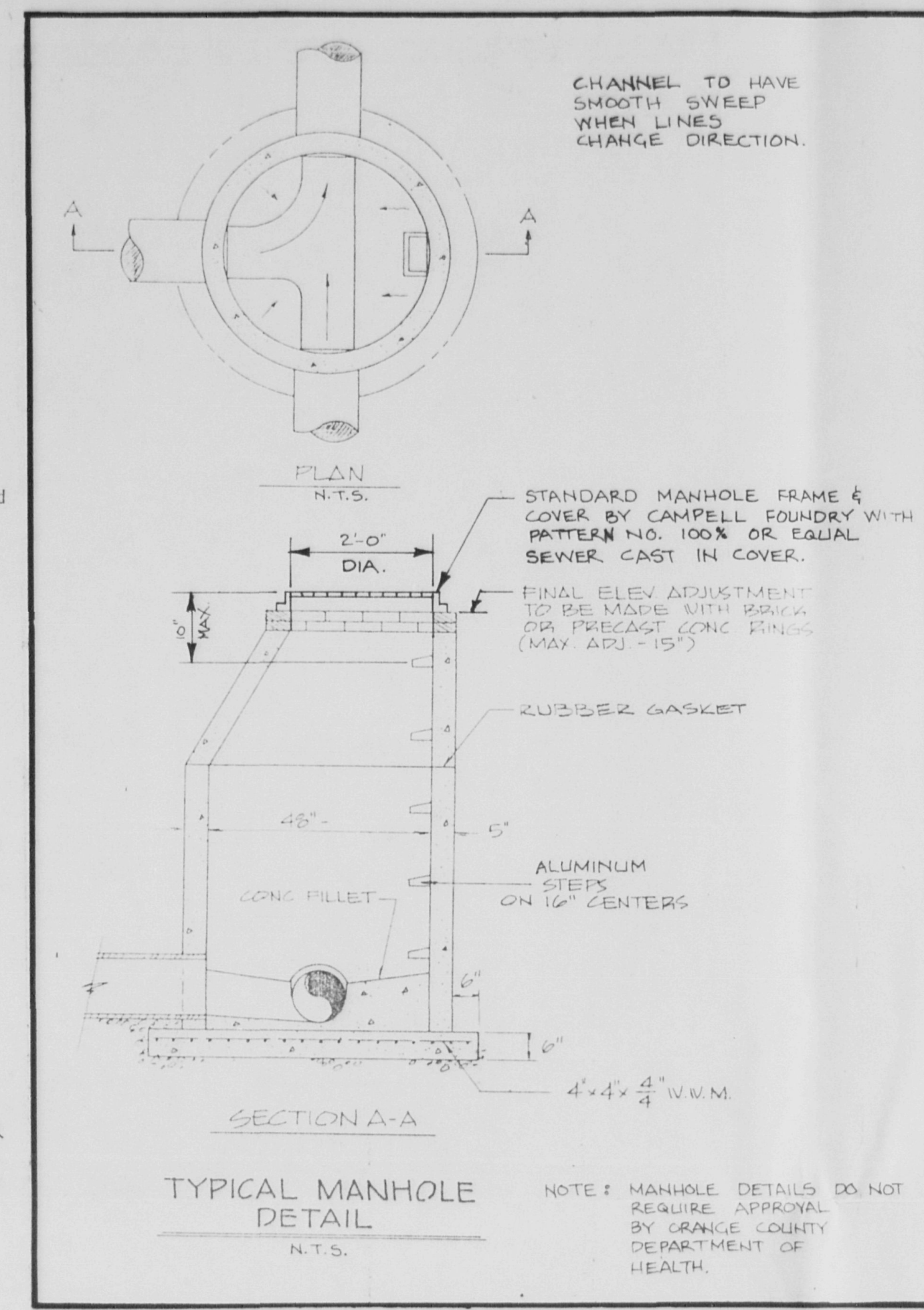




PROFILE: MT AIRY ROAD  
SCALE: 1" = 50' HORIZ  
1" = 5' VERT.



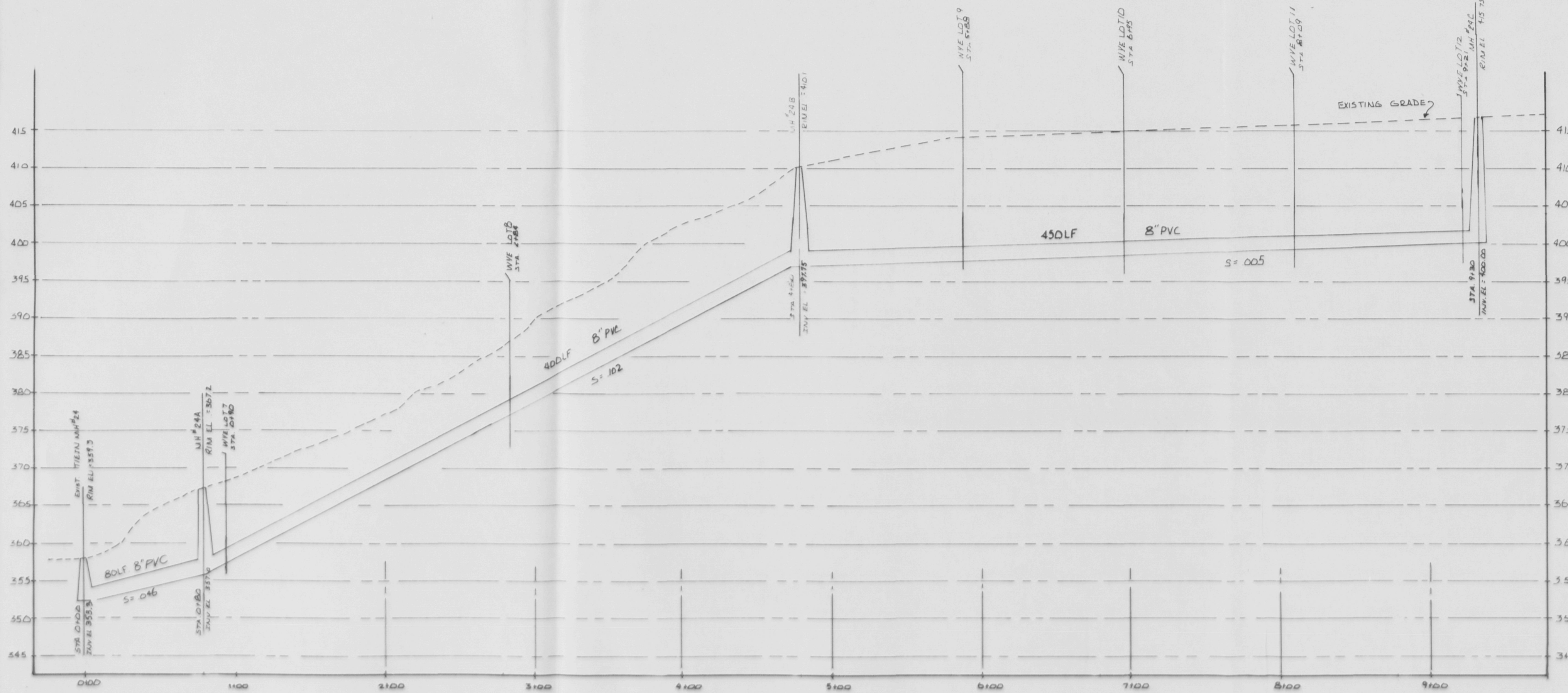
LATERAL CLEANOUT  
N.T.S.



ORANGE COUNTY DEPARTMENT OF HEALTH  
DIVISION OF ENVIRONMENTAL HEALTH

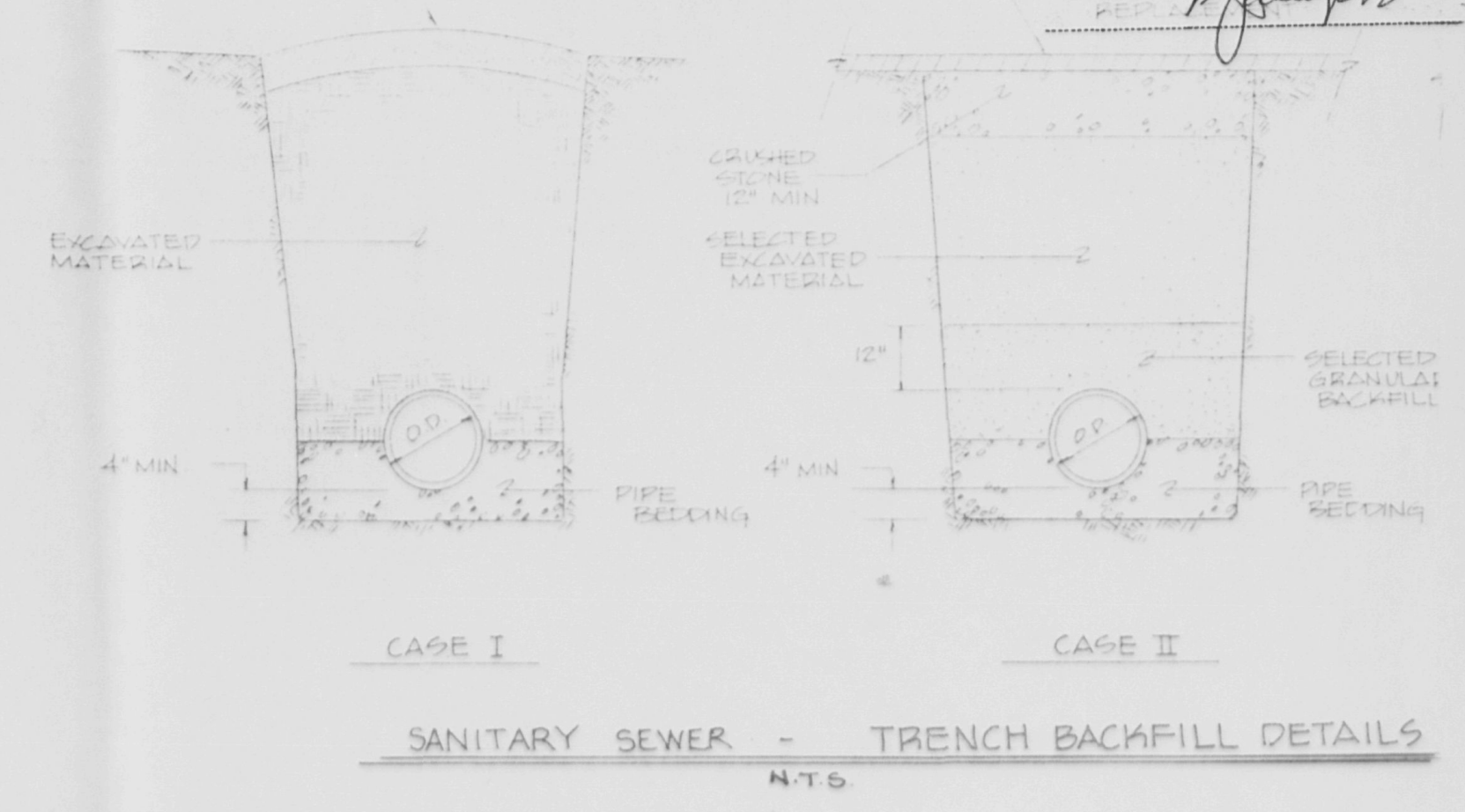
This is to certify that the proposed arrangements for water supply and sewer disposal for this realty subdivision in accordance with plans on file in the office of the County Department of Health are hereby approved. This approval is hereby given to the filing of the map on which this endorsement appears as a condition of the County Clerk in accordance with the provisions of Section 1117 of the Public Health Law.

ASSISTANT COMMISSIONER  
*[Signature]*

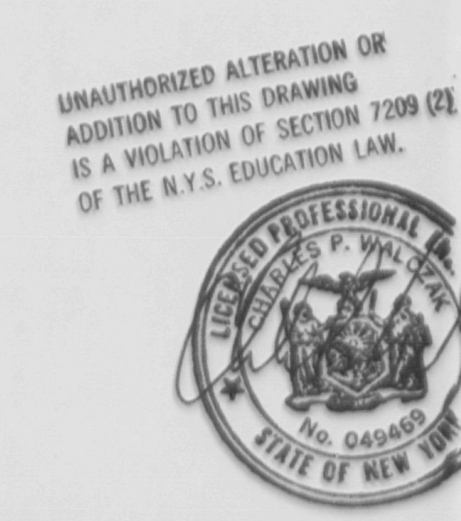


PROFILE: DEAN HILL ROAD  
SCALE: 1" = 50' HORIZ  
1" = 5' VERT.

- Notes: Continued from sheet 2 of 3.
- Minimum house sewer elevations are as shown on site plan sheet 2 of 3. Any relocation of houses will require an adjustment of house sewer elevation at a rate of 1" per foot.
  - Minimum separation between wells and sewer laterals shall be 50 feet.



NOTE: THIS SHEET IS INVALID AND INCOMPLETE UNLESS ACCOMPANIED BY SHEET 1 OF 3 AND 2 OF 3.



REVISIONS		SEWER PROFILE AND DETAILS	
NO.	DESCRIPTION	DATE	BY
1	MANHOLE REVISED	10-2-87	DBL
2	WATER SOFTENER		
3	ADDED SEWER CLEANOUT ADDED, NOTES ADDED		

BENEDICT POND ESTATES  
TOWN OF NEW WINDSOR  
ORANGE COUNTY, NEW YORK

CLARK ENGINEERS D.S., P.C.  
259 ROUTE 17K  
NEWBURGH, NEW YORK 12550

DATE: 10-2-87  
DESIGNED BY: DBL  
DRAWN BY: MAR  
CHECKED BY: DBL  
AS SHOWN: 3 OF 3